



HILLINGDON
LONDON



North Planning Committee

To Councillors on the Committee

Date: TUESDAY, 25 JUNE 2013

Time: 7.00 PM OR AT THE RISING
OF THE MAJOR
APPLICATIONS
COMMITTEE

Eddie Lavery (Chairman)
John Morgan (Vice-Chairman)
Raymond Graham
Michael Markham
Carol Melvin
David Yarrow
David Allam (Labour Lead)
Robin Sansarpuri

Venue: COMMITTEE ROOM 5 -
CIVIC CENTRE, HIGH
STREET, UXBRIDGE UB8
1UW

**Meeting
Details:** Members of the Public and
Press are welcome to attend
this meeting

**This agenda and associated
reports can be made available
in other languages, in braille,
large print or on audio tape on
request. Please contact us for
further information.**

Published: Monday, 17 June 2013

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This Agenda is available online at:
<http://modgov.hillingdon.gov.uk/ieListMeetings.aspx?CId=116&Year=2013>

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INVESTOR IN PEOPLE

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A useful guide for those attending Planning Committee meetings

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Petitions and Councillors

Petitions - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

Ward Councillors - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

Committee Members - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant

followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

Agenda

Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the previous meetings 8 May and 30 May 2013
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

Reports - Part 1 - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. Reports are split into 'major' and 'minor' applications. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Non Major Applications with a Petition

	Address	Ward	Description & Recommendation	Page
6	24 Eastbury Road, Northwood - 19305/APP/2012/3107	Northwood	Application for a material amendment to Planning Permission ref. 9305/APP/2011/1584 for the installation of proposed amenity/balcony area for the approved first floor flat.	17 - 36
7	Walderton, Northgate, Northwood - 47749/APP/2013/153	Northwood	Two storey, 6- bed, detached dwelling with habitable roofspace and associated parking and amenity space, involving demolition of existing dwelling (Resubmission).	37 - 48
8	16 Farmlands, Eastcote - 68966/APP/2013/113	Northwood Hills	Single storey side/rear extension.	49 - 60

9	524-526 Victoria Road, Ruislip - 36666/APP/2013/395	South Ruislip	Change of use from Use Class A1 (Shops) to Use Class D1 (Non-residential Institutions) to provide childcare provision involving alterations to rear elevation (Resubmission).	61 - 72
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Non Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
10	Grass verge opposite recreation ground. Moorhall Road, Harefield - 67032/APP/2013/1294	Harefield	Installation of replacement 11.8m telecommunications mast, together with two new telecommunications cabinets.	73 - 84
11	Oakhurst, 1 Northgate, Northwood - 30779/APP/2013/539	Northwood	Two storey, 6-bedroom detached dwelling with basement level with associated parking and amenity space and installation of vehicular crossover to front, involving demolition of existing dwelling.	85 - 108
12	Lynda Jackson Centre, Rickmansworth Road, Northwood - 3807/APP/2013/1177	Northwood	Single storey extension to Lynda Jackson Macmillan Centre.	109 - 120

Part 2 - Members Only

The reports listed below are not made public because they contain confidential or exempt information under paragraph 6 of Part 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended.

	Address	Ward	Description & Recommendation	Page
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13 Any Items Transferred from Part 1

14 Any Other Business in Part 2

Plans for North Planning Committee

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Minutes

NORTH PLANNING COMMITTEE

8 May 2013

**Meeting held at Committee Room 5 - Civic Centre,
High Street, Uxbridge UB8 1UW**

	<p>Committee Members Present: Councillors Eddie Lavery (Chairman) David Allam (Labour Lead) Carol Melvin John Morgan David Payne Raymond Graham Kuldeep Lakhmana Brian Stead</p> <p>LBH Officers Present: Matt Duigan, Planning Services Manager Meghji Hirani, Planning Contracts and Planning Information Manager Nicole Cameron - Legal Services Gill Oswell – Democratic Services</p> <p>Also Present: Councillor Andre Retter Councillor Scott Seaman-Digby</p>	
1.	<p>APOLOGIES FOR ABSENCE (<i>Agenda Item 1</i>)</p> <p>Apologies had been received from Councillors Allan Kauffman and Jazz Dhillon with Councillors Brian Stead and Kuldeep Lakhmana substituting.</p>	<p>Action by</p> <p>Gill Oswell</p>
2.	<p>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING (<i>Agenda Item 2</i>)</p> <p>Councillor John Morgan declared a pecuniary interest in Item 5 – RAF Eastcote, Lime Grove, Ruislip as he owned one of the apartments in the building and left the meeting whilst the item was discussed. Also a non-pecuniary interest in Item 8 – Land forming part of Oakhurst, Northgate, Northwood, as the Northwood Hills Branch chairman was one of the lead petitioners, he remained in the meeting to discuss and vote on the application.</p> <p>Councillor Ray Graham declared a pecuniary interest in Item 12 – 3 Canterbury Close, Northwood as he lived next door to the application site and left the meeting whilst the application was discussed.</p>	<p>Action by</p> <p>Gill Oswell</p>

3.	<p>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT (<i>Agenda Item 3</i>)</p> <p>There were no items notified in advance or urgent.</p>	
4.	<p>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART 1 WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE (<i>Agenda Item 4</i>)</p> <p>It was confirmed that all business would be heard in public.</p>	
5.	<p>FORMER RAF EASTCOTE, LIME GROVE, RUISLIP 10189/APP/2013/3143 (<i>Agenda Item 5</i>)</p> <p>S73 Application to vary the design, internal layout and external appearance of Block C (modifications of conditions 1, 6 and 10 of Reserved Matters approval ref: 10189/APP/2007/3046 dated 13/03/2008: (details of siting, design, external appearance and landscaping), in compliance with conditions 2 and 3 of outline planning permission ref: 10189/APP/2007/3383 dated 21/02/2008: Residential development). (Deferred from North Planning Committee 7/3/13)</p> <p>A member raised concerns that the developer had ignored the originally approved plans and he would be unable to support the officer's recommendation for approval.</p> <p>Officers advised the committee that consideration had been given as to whether the amendments being proposed would have been considered favourably if this had been a fresh application. Although officers do not agree with what the applicant had been done, if an appeal was made it was felt that an Inspector would have allowed the amendments. Consideration was also given to whether the amendments being requested as part of this application were so harmful to warrant a refusal.</p> <p>The committee was advised that although they were concerned that the original plans had not been adhered to the officer recommendation for approval was the correct decision.</p> <p>The recommendation was moved, seconded and on being put to the vote there were 5 in favour and 1 abstention against the recommendation for approval.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer's report and addendum sheet circulated at the meeting.</p> <p>Following the conclusion of this application a 10 minute adjournment was agreed.</p>	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>

6.	WEST LONDON COMPOSTING LAND AND LAND TO THE NORTH & SOUTH OF NEW YEARS GREEN LANE, HAREFIELD 12579/APP/2012/2366 (<i>Agenda Item 6</i>)	Action by
	<p>The continuation of existing recycling operations at land to the North and South of New Years Green Lane for an organic composting facility operation to handle a maximum throughput of up to 75,000 tonnes per annum of organic waste for a temporary period of five years.</p> <p>Officers introduced the report and referred members to the addendum sheet that had been circulated.</p> <p>A member asked why the application was only being given a temporary 5 year permission.</p> <p>Officers advised the committee that as the site was in the Green Belt the 5 year permission would give an opportunity for the site to be monitored.</p> <p>In answer to an issue raised in relation to the re-construction and strengthening of the highway members were informed that this was to take place at the two accesses to the sites only.</p> <p>A member raised a concern about health & safety issues on the site.</p> <p>The committee was informed that the site was regulated by the Environment Agency and there was other legislation that covered this aspect.</p> <p>The recommendation contained in the report with the amended condition 6 was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved –</p> <p>1. That the application be referred to the Secretary of State as a departure from the Development Plan.</p> <p>2. That the application be referred back to the Greater London Authority.</p> <p>3. That should the Secretary of State not call in the application, or should the Mayor not direct the Council under Article 6 to refuse the application, or issue a direction under Article 7 that he is to act as the Local Planning Authority for the purposes of determining the application, the Council enter into an agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) or Section 278 Highways Act 1980 (as amended) and all appropriate legislation to secure:</p> <p style="padding-left: 40px;">(i) highway improvements on Newyears Green Lane, including the strengthening of the carriageway.</p> <p>4. That officers be authorised to negotiate and agree the detailed terms of the proposed agreements.</p> <p>5. The applicants pay a sum to the Council equivalent to 2% of the value of contributions for compliance, administration and monitoring of the completed planning (and/or highways) agreement(s).</p>	Matt Duigan Meg Hirani

	<p>6. The applicants pay a sum to the Council of up to 3% of the value of contributions for specified requirements to project manage and oversee implementation of elements of the completed planning (and/or highways) agreement(s).</p> <p>7. If the above Section 106 agreement has not been finalised within 6 months, then the application is to be referred back to the Planning Committee for determination.</p> <p>8. That subject to the above, the application be deferred for the determination by Head of Planning Sport and Green Spaces under delegated powers to approve the application, subject to the completion of legal agreement(s) under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.</p> <p>9. That if the application is approved, the conditions set out in the officer's report new condition 6 and an informative added as follows:-</p> <p>New Condition 6</p> <p>Unless previously agreed in writing with the Local Planning Authority, there shall be no more than 100 vehicular movements (one way), of which there shall be no more than 41 one way HGV (vehicles above 87.5 tonnes) movements in any one working day, involving a cumulative total not exceeding a maximum 75,000 tonnes of waste input each year.</p>	
7.	<p>73 SWAKELEYS ROAD, ICKENHAM 52680/APP/2012/3209 (Agenda Item 7)</p>	Action by
	<p>Change of use from Use Class A1 (Shops) to Use Class A5 (Hot Food Takeaway).</p> <p>Officers introduced the report and referred members to the addendum sheet that had been circulated. The Ward Councillors comments had been omitted from the report but had been included on the addendum sheet.</p> <p>In accordance with the Council's Constitution a representative of the petitioners addressed the meeting making the following points:-</p> <ul style="list-style-type: none"> • The main concerns against the application were in relation to the late opening hours and the odours that would come from the premises. <p>In accordance with the Council's Constitution the agent addressed the meeting making the following points:-</p> <ul style="list-style-type: none"> • The shop was within a core area. • There was an off licence close by, that opened early and closed at midnight. • There were also other off licences in the same parade as the application site. • The shop would have its own bin container at the rear of the shop. • The shop was unlikely to cause traffic issues as it was to be a takeaway. • 	<p>Matt Duigan Meg Hirani</p>

	<ul style="list-style-type: none"> • The proposed unit had been shut for nearly a year not 6 months, as stated. • There were currently no kebab shops in the area and this would provide an alternative food outlet in the neighbourhood. <p>A member raised concerns about the ventilation flue system that would take the cooking odours away from the residential properties above.</p> <p>Officers advised that there was no proposal for a flue outlet to the rear. The current ventilation was below the balconies of the flats above the premises. As officers felt that it would be difficult to provide a flue system that was visually acceptable in this location.</p> <p>Members felt that a further reason for refusal could be added as officers felt that the layout at the rear, would make it difficult for a suitable flue system to be provided. It was suggested and agreed that an additional reason for refusal be added. The wording of the additional reason for refusal to be agreed with the Chairman and Labour Lead.</p> <p>In answer to an issue raised in relation to how the application contributed to the Hillingdon Local Plan, officers advised the committee that the application site was outside of the core area. If the application had been considered acceptable officers would have recommended approval.</p> <p>The recommendation for refusal contained in the report and an additional reason for refusal was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That the application be Refused for the reasons set out in the officer’s report and an additional reason for refusal regarding the ventilation flue for the food outlet.</p> <p>Additional Reason for Refusal</p> <p>The proposal fails to provide, and fails to demonstrate that such provision can be made, mitigation measures regarding the control of smell, fumes and other emissions from the site. The proposal would thus be detrimental to the residential amenity of adjoining occupiers and contrary to Policies BE19 and OE1 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).</p>	
8.	LAND FORMING PART OF OAKHURST, NORTHGATE, NORTHWOOD 60712/TRE/2013/17 (Agenda Item 8)	Action by
	<p>To fell one Oak tree (T28) on TPO 173.</p> <p>Officers introduced the report advising the committee of the main points and referred members to the addendum sheet that had been circulated.</p> <p>In accordance with the Council’s Constitution a representative of the petitioners addressed the meeting making the following points:-</p>	<p>Matt Duigan Meg Hirani</p>

	<ul style="list-style-type: none"> • The Tree Preservation Order (TPO) was made in the 1970's. • The tree was still alive and home to a range of habitat. • It had not been confirmed whether there were bats nesting in the Oak tree. • Planning permission had been granted to demolish the house, which was locally listed. • If the tree was retained it would prevent the plot from being further developed, which was felt would overcrowd the site. • The developers had contravened a number of conditions on the site. • Should this application succeed it was felt that further planning applications would be put forward. • Would like to see the tree retained for as long as possible. • Asked the committee to not grant permission for the tree to be felled. <p>In accordance with the Council's Constitution the agent addressed the meeting making the following points:-</p> <ul style="list-style-type: none"> • The previous planning application was nothing to do with the application the committee were currently considering. • The Oak tree had been monitored for the past 5 years. • The tree was in a moderately poor condition with a marked deterioration over the past 5 years. • The shoots and buds on the tree were substandard. • A fungus had recently been detected on the tree, which could spread to other trees on the site. • The steady decline of the health of the tree indicated that the tree was dying. • A replacement hornbeam tree was being provided for the Oak tree that was to be felled. <p>The committee felt that as there was evidence that the Oak tree was diseased the felling of the tree was the correct course of action. This would help protect the spread of the disease to surrounding trees.</p> <p>The recommendation contained in the report was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That the application for the felling of Oak T28 on TPO 173 be granted.</p>	
9.	<p>38 COLERIDGE DRIVE, EASTCOTE 69014/APP/2013/353 <i>(Agenda Item 9)</i></p>	<p>Action by</p>
	<p>Conversion of roof space to habitable use to include a front dormer, 4 x rear rooflights and 5 x solar panels to rear with 2 x new gable end windows.</p> <p>The committee raised concerns about the amount of amenity space that would be retained, if approval of this application was agreed. If allowed this would set a precedent, as amenity space had always been an issue on this site. It was felt that consideration should be given to refusing the application on insufficient amenity space grounds.</p>	<p>Matt Duigan Meg Hirani</p>

	<p>It was moved and seconded that the application be refused on the grounds of insufficient amenity space and on being put to the vote was agreed. The wording of the reason for refusal to be agreed by the Chairman and Labour Lead.</p> <p>Resolved – That the application be refused for the following reason:-</p> <p>The proposal fails to provide amenity space of a sufficient size commensurate to the size of the extended property. As such the proposal would provide a substandard form of accommodation to the detriment of the residential amenity of existing and future occupiers, contrary to Policy BE23 of the Hillingdon Local Plan: Part Two – Unitary development Plan Saved Policies (November 2012) and the Council's adopted Supplementary Planning Document HDAS: Residential Extensions.</p>	
10.	<p>BREAKSPEAR ARMS, BREAKSPEAR ROAD SOUTH, HAREFIELD 10615/APP/2013/47 (<i>Agenda Item 10</i>)</p> <p>Conservatory to side and provision of outdoor seating areas to exterior of property.</p> <p>The recommendation for approval was moved, seconded and on being put to Vote the was agreed.</p> <p>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer's report.</p>	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>
11.	<p>LAND O/S SORTING OFFICE, EAST WAY AND PARK WAY, RUISLIP 59076/APP/2013/817 (<i>Agenda Item 11</i>)</p> <p>Replacement of existing 12.5m high monopole and 2 no. radio equipment cabinets with a new 12.5m high monopole supporting 3 no. antennas with 3 no. equipment cabinets and ancillary works.</p> <p>Officers introduced the report referring members to the addendum sheet that had been circulated.</p> <p>The recommendation for refusal was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That prior approval was required and that the application be refused for the reasons set out in the officer's report.</p>	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>
12.	<p>3 CANTERBURY CLOSE, NORTHWOOD 68984/APP/2013/186 (<i>Agenda Item 12</i>)</p>	<p>Action by</p>
	<p>Part two storey, part first floor, part single storey side and rear extensions, and porch to front.</p> <p>A Ward Councillor addressed the meeting making the following points:-</p>	<p>Matt Duigan Meg Hirani</p>

	<ul style="list-style-type: none"> • The extension was too big for the plot, as it doubled the size of the property. • The proposal would block the passage of light to neighbouring properties. • The current amenity space was not overly practical. • The proposal was an un-neighbourly development. • There would be an access issue in relation to delivery of materials to the site. <p>The committee felt that the application was overdevelopment of the site and refusal for the reasons set out in the report should be agreed.</p> <p>The recommendation for refusal was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That the application be refused for the reasons set out in the officer’s report.</p>	
13.	<p>PINOVA, CUCKOO HILL, NORTHWOOD 66027/APP/2013/145 (Agenda Item 13)</p> <p>Installation of 9 Solar Photovoltaic Panels (Retrospective Application).</p> <p>A Ward Councillor addressed the meeting and made the following points:-</p> <ul style="list-style-type: none"> • Missetoe Farm was a Grade 2 listed building, which was in close proximity to the application site. • The installation of the solar panels had a detrimental impact on the street scene. • The area was currently being considered as an area of Special Local Character. • The committee were asked to re-consider the officer’s recommendation for approval. . <p>Some committee members had concerns about the panels once they had seen the photographs, which formed part of the officers presentation. They felt that the application was detrimental to the street scene and would not be able to support the officer’s recommendation for approval.</p> <p>Other members of the committee were in support of the application, as solar panels were an increasing way of life and the Conservation & Urban Design Officer had no objection to the application.</p> <p>The recommendation for approval was moved and seconded, there were 3 in favour 2 against and 2 abstentions, the recommendation for approval was therefore agreed.</p> <p>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer’s report.</p>	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>

14.	16 FARMLANDS, EASTCOTE 68966/APP/2013/113 (<i>Agenda Item 14</i>)	Action by
<p>Single storey side/rear extension.</p> <p>Officers introduced the report advising the committee of the main points and referred members to the addendum sheet that had been circulated.</p> <p>In accordance with the Council's Constitution a representative of the petitioners addressed the meeting making the following points:-</p> <ul style="list-style-type: none"> • There were a number of inaccuracies in the plans and the purpose of the application was flawed. • The measurements on the plans differ from what was actually in place and they should be accurate. • The application site sits on a prominent T junction, which was a turning point for many cars. • It was felt that a 3 bed house would become a 5 bedroom house • A car parked on the drive of the neighbouring property would be unable to open the passenger door of their car if the extension was approved. • There would be a loss of light to the adjoining property. • The proposal to extend the existing garage forward would be over-dominant and out of character with the street scene. • The loss of the garage would result in a reduction of parking in an already heavily parked area. • There were concerns as to how the demolition of the garage party wall would be carried out and how it would be replaced. • The patio of the adjoining property had already been damaged and if the extension was allowed this may cause further damage. • Farmlands was within in a flood plain risk area. • There were currently drainage issues within the area and no details had been provided regarding the soak-away and yard gully to prevent the driveway and garage of the neighbouring property from flooding. • It was felt that the committee did not have sufficient time to consider the concerns raised in the petition to make a decision and asked that the application be deferred. <p>In accordance with the Council's Constitution the agent addressed the meeting making the following points:-</p> <ul style="list-style-type: none"> • Positive feedback had been received from officers in relation to the proposal. • The proposed design complied with planning guidelines. • There was no basis for the objections raised on loss of amenity. • There would be sufficient amenity space remaining as the garden was the longest in the street. • The garage was dead space and the conversion to a habitable space would make it more useable than what existed currently. • The proposal was not visible from the street and would not affect nearby properties. 		<p>Matt Duigan Meg Hirani</p>

	<ul style="list-style-type: none"> • The front extension does not compromise the off street parking situation, as there would still be sufficient space for 2 cars. • The proposed 3 metre extension at the rear was permitted development. • There were legal requirements in regard to noise and disturbance. • The design of the proposal was not detrimental or overdevelopment. • Highlighted the need for the extension due to the expanding family and to enable them to remain and enjoy the property long term. • The committee was asked to agree the officer's recommendation for approval. <p>A Ward Councillor addressed the meeting making the following points:-</p> <ul style="list-style-type: none"> • The petitioner and the applicant had made a number of good points. • The committee was asked that before they made a decision on the application to defer the application for a site visit. <p>A member asked whether sufficient parking was being provided for the proposal as this had been raised as a concern.</p> <p>Officers advised the committee that as the width of the garage was less than 3 metres, in reality there was only one parking space. The requirement for the proposed extension was for one space, which was shown on the plans. Officers also advised the committee that the proposed single storey extension could be built under permitted development rights.</p> <p>A member stated that he could not see the need for a site visit as the proposed extension was just above what would be able to be built under permitted development rights.</p> <p>In answer to a question raised in relation to the extension not being set in 1 metre the committee was advised that this was only required for 2 storey extensions. The issue in relation to the opening of a passenger door was not a right and could not be taken into consideration.</p> <p>It was moved and seconded that the application be deferred to enable members to make a site visit. On being put to the vote deferral was agreed.</p> <p>Resolved – That the application be deferred to enable the Committee members to make a site visit.</p>	
15.	<p>ARGYLE HOUSE, JOEL STREET, NORTHWOOD 500/APP/2012/3217 (<i>Agenda Item 15</i>)</p> <p>Part change of use of ground floor from Use Class A1 and Use Class B1(a) to Use Class D1(a) (Non-Residential Institutions) for use as dentistry.</p>	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>

	<p>Officers introduced the report referring members to the addendum sheet that had been circulated.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That the application be approved, subject to the conditions and informatives set out in the officer’s report and addendum sheet circulated at the meeting.</p>	
16.	<p>PATH ADJACENT RECREATION GROUND OPPOSITE FIELD END JUNIOR SCHOOL, FIELD END ROAD, RUISLIP 61143/APP/2013/804 (<i>Agenda Item 16</i>)</p> <p>Replacement of existing 15m high telecom pole holding three shrouded antennae with a replacement 15m pole holding three antenna contained within a 'thickening' shroud located towards the top of pole, and installing two ancillary equipment cabinets at ground level along with the retention of an existing ancillary equipment cabinet at ground level (Consultation under Schedule 2, Part 24 of the Town and Country Planning (General Permitted Development) Order 1995) (as amended).</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That prior approval was required and that the application be approved, subject to the conditions and informatives set out in the officer’s report.</p>	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>
17.	<p>LAND FORMING PART OF 111 PARKFIELD CRESCENT, RUISLIP 68057/APP/2012/3216 (<i>Agenda Item 17</i>)</p>	<p>Action by</p>
	<p>Use of two storey extension as a self contained dwelling, erection of a porch, provision of associated parking and amenity space and internal and external alterations.</p> <p>Officers introduced the report advising the committee of the main points and referred members to the addendum sheet that had been circulated.</p> <p>A Ward Councillor addressed the meeting and made the following points:-</p> <ul style="list-style-type: none"> • The applicant had disregarded the impact of the works had, had on the adjoining neighbour. • The works had already been carried out. • The hedge at the front of the site had been destroyed. • The rear access was used by Harrow residents and was not for Hillingdon residents, but was being used for parking by the applicant. 	<p>Matt Duigan Meg Hirani</p>

	<ul style="list-style-type: none"> • Trees at the rear of the site had been taken down leaving large gaps. • A considerable amount of damage had been caused to the neighbouring property. • The applicant had not responded to requests for the damage caused to be rectified. • The area had not been enhanced by the extension built. <p>Officers advised the committee that the appeal decision in relation to this site had accepted that parking at the front of the site was acceptable. This meant that the Inspector had left no room for manoeuvre on this issue.</p> <p>In answer to an issue raised in relation to the trees that had been removed officers advised that the trees were not protected, so there was no requirement to seek permission to fell them.</p> <p>A member commented that as the plans for the porch was totally out of character with the area, the refusal on this ground was correct.</p> <p>The recommendation for refusal contained in the officers report was moved, seconded and on being put to the vote was agreed.</p> <p>Resolved – That the application be Refused for the reason set out in the officer’s report.</p>	
<p>The meeting, which commenced at 7.00 p.m., closed at 9.50 p.m.</p>		

These are the minutes of the above meeting. For more information on any of the resolutions please contact Gill Oswell on 01895 250693. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

Minutes**NORTH PLANNING COMMITTEE**

30 May 2013

Meeting held at Committee Room 5 - Civic Centre,
High Street, Uxbridge UB8 1UW



HILLINGDON
LONDON

	<p>Committee Members Present: Councillors Eddie Lavery (Chairman) John Morgan (Vice-Chairman) Raymond Graham Michael Markham Carol Melvin David Yarrow David Allam (Labour Lead) Robin Sansarpuri</p> <p>LBH Officers Present: Matthew Duigan, Planning Service Manager Meghji Hirani, Planning Team Leader Tim Brown, Legal Advisor Danielle Watson, Democratic Services Officer</p> <p>Also Present: Councillor Philip Corthorne (Item 8) Councillor Brian Crowe (Item 8)</p>	
21.	<p>APOLOGIES FOR ABSENCE (<i>Agenda Item 1</i>)</p> <p>There were no apologies for absence.</p>	
22.	<p>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING (<i>Agenda Item 2</i>)</p> <p>Councillor John Morgan declared a non-pecuniary interest in Item 10 and remained in the room to discuss and vote on the item.</p>	
23.	<p>TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETINGS 16 APRIL AND 9 MAY 2013 (<i>Agenda Item 3</i>)</p> <p>The minutes of the meetings held on 16 April and 9 May 2013 were agreed as a correct record.</p>	
24.	<p>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT (<i>Agenda Item 4</i>)</p>	
25.	<p>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART 1 WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE (<i>Agenda Item 5</i>)</p>	

	It was confirmed that all items marked Part 1 would be considered in public and all items marked Part 2 would be heard in private.	
26.	<p>LAND FORMING PART OF 30 BARNHILL, EASTCOTE - 68960/APP/2013/33 (<i>Agenda Item 6</i>)</p> <p>3-bedroom, detached dwelling (Outline planning application with all matters reserved).</p> <p>Officers introduced the report and outlined details of the application.</p> <p>In accordance with the Council's constitution a representative of the petition received in objection of the proposals was invited to address the meeting. The lead petitioner spoke on behalf of the petitioners and raised the following points:</p> <ul style="list-style-type: none"> • The proposals did not harmonize with the existing properties. • Properties had large spacious gardens. • Privacy would be evaded. • The proposals did not contribute to the wider community. • Garden grabbing was against the Mayor of London's policy. • Petitioners hoped the Committee would take the officers' recommendations into account. <p>Members discussed the application and agreed with petitioners' concerns. Members discussed policies which were put in place to prevent 'garden grabbing'.</p> <p>The recommendation for refusal was moved, seconded, and on being put to the vote, was unanimously agreed.</p> <p>Resolved – That the application be refused as per the agenda.</p>	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>
27.	<p>NORTHWOOD GOLF CLUB, RICKMANSWORTH ROAD, NORTHWOOD - 7932/APP/2013/667 (<i>Agenda Item 7</i>)</p> <p>Single storey outbuilding for use as storage of golf buggies.</p> <p>Officers introduced the report and outlined the application. Officers informed Members that the proposed building would have a minimal impact on the open character of the Green Belt and would facilitate an appropriate use within the Green Belt.</p> <p>The recommendation for approval was moved, seconded, and on being put to the vote, was unanimously agreed.</p> <p>Resolved – That the application be approved as per the agenda.</p>	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>
28.	<p>28 & 28A KINGSEND, RUISLIP - 5740/APP/2013/411 (<i>Agenda Item 8</i>)</p> <p>Retrospective planning application to vary Condition 27 (that development shall not be carried out otherwise than in strict accordance with the plans hereby approved) to planning</p>	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>

	<p>Permission Ref: 5740/APP/2008/1214 (Erection of a three storey building to contain 7, two-bedroom and 1, one-bedroom flats, together with associated parking and amenity space) to seek retention of the existing roof profile which is a departure from the approved roof profile.</p> <p>The Chairman informed the Committee that this was a retrospective application for the roof profile and the rest of the property would not be discussed.</p> <p>Officers outlined the report. The profile of the house was marginally different from the last application. The stairwell needed extra height which was not taken into consideration in the initial design of the property.</p> <p>Two Ward Councillors were present, one of which outlined their concerns to the Committee as follows:</p> <ul style="list-style-type: none"> • The overall bulk, scale and design of the property was already overbearing to neighbouring properties. • Disagreed with the statement the conservation officer had made that suggested the visual impact was difficult to assess. • Concern that there was an error in the drawings. <p>Members reiterated that the application was brought before the Committee to consider the change to the roof profile not the overall appearance of the building. Members agreed that the application was slightly better than what was previously approved, however, was still a poor design.</p> <p>Members discussed the previous application that was approved by Committee and agreed that although this was a minor alteration from the original design it could set a precedent to other developers if approved.</p> <p>The recommendation for refusal was moved, seconded, and on being put to the vote, was unanimously agreed.</p> <p>Councillors David Allam and Robin Sansarpuri both asked for their objection to the decision to be minuted.</p> <p>Resolved – That the application be refused as per the agenda.</p>	
29.	<p>ENFORCEMENT REPORT (<i>Agenda Item 9</i>)</p> <p>The recommendation contained in the officer’s report was moved, seconded and on being put to the vote was unanimously agreed.</p> <p>Resolved –</p> <ol style="list-style-type: none"> 1. That the enforcement actions as recommended in the officer’s report be agreed. 2. That the Committee resolve to release their decision and the 	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>

	<p>reasons for it outlined in this report into the public domain, solely for the purposes of issuing the formal breach of condition notice to the individual concerned.</p> <p>This item is included in Part II as it contains information which a) is likely to reveal the identity of an individual and b) contains information which reveals that the authority proposes to give, under an enactment, a notice under or by virtue of which requirements are imposed on a person. The authority believes that the public interest in withholding the information outweighs the public interest in disclosing it (exempt information under paragraphs 2 and 6(a) of Part 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended).</p>	
30.	<p>ENFORCEMENT REPORT (<i>Agenda Item 10</i>)</p> <p>The recommendation contained in the officer's report, including one change to extend the compliance period to 6 months was moved, seconded and on being put to the vote was unanimously agreed.</p> <p>Resolved –</p> <p>1. That the enforcement actions as recommended in the officer's report be agreed.</p> <p>2. That the Committee resolve to release their decision and the reasons for it outlined in this report into the public domain, solely for the purposes of issuing the formal breach of condition notice to the individual concerned.</p> <p>This item is included in Part II as it contains information which a) is likely to reveal the identity of an individual and b) contains information which reveals that the authority proposes to give, under an enactment, a notice under or by virtue of which requirements are imposed on a person. The authority believes that the public interest in withholding the Information outweighs the public interest in disclosing it (exempt information under paragraphs 2 and 6(a) of Part 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended).</p>	<p>Action by</p> <p>Matt Duigan Meg Hirani</p>
<p>The meeting, which commenced at 7.00 pm, closed at 7.50 pm.</p>		

These are the minutes of the above meeting. For more information on any of the resolutions please contact Danielle Watson on 01895 277488. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

Report of the Head of Planning, Sport and Green Spaces

Address 24 EASTBURY ROAD NORTHWOOD

Development: Application for a material amendment to Planning Permission ref. 19305/APP/2011/1584 for the installation of proposed amenity/balcony area for the approved first floor flat

LBH Ref Nos: 19305/APP/2012/3107

Drawing Nos: Design and Access Statement
PL-01
PL-02 Rev. C
PL-03 Rev. C
PL-05 Rev. C
PL-04 Rev. D

Date Plans Received: 14/12/2012 **Date(s) of Amendment(s):** 14/12/2012

Date Application Valid: 09/01/2013

1. **SUMMARY**

The proposal is for an amendment to a previous planning approval for the installation of proposed first floor amenity area for an approved first floor flat. This would involve the raising of the rear wall and the installation of a railing to a height of 1.1m and also the erection of 1.8m high glazed screens to the northern and southern side of the terrace in order to screen the views to the north and south.

The alterations are considered to be appropriate to the size and scale of the building and its design would match existing features and harmonise with the character of the building. The scheme takes adequate account of its impact upon existing trees on site. As such, the proposal would maintain the character and appearance of the conservation area.

The scheme would not adversely affect the amenities of surrounding residential properties.

2. **RECOMMENDATION**

APPROVAL subject to the following:

1 T8 **Time Limit - full planning application 3 years**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 OM1 **Development in accordance with Approved Plans**

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

3 M1 Details/Samples to be Submitted

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

4 NONSC Non Standard Condition

No development shall take place until full details and sections of the construction, design and materials to be used on the re-located front door and fanlight, including frames and the making good of brickwork have been submitted to and approved in writing by the Local Planning Authority. The scheme shall be implemented in accordance with the approved plans and retained as such thereafter.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

5 OM19 Construction Management Plan

Prior to development commencing, the applicant shall submit a demolition and construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

6 H3 Vehicular access - construction

The building hereby permitted shall not be occupied until the vehicular means of access has been constructed in accordance with the approved plans. Thereafter, the vehicular means of access shall be retained and kept open for users of the building.

REASON

To ensure the provision of a safe and convenient access for vehicular traffic, prior to occupation in accordance with Policies AM7 and AM14 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) and the London Plan (July 2011).

7 NONSC Non Standard Condition

The new vehicular crossover shall not be brought into use until the on street highway works, including the relocation of the parking bays on Eastbury Road have been implemented in accordance with the details shown on the approved plans.

REASON

In the interests of highway safety and in compliance with Policy AM7 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

8 H12 Closure of Existing Access

The existing vehicular crossovers at the site, shall be closed, the dropped kerbs removed and the footway reinstated to match the adjoining footway within one month of the new access hereby approved being completed.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) and the London Plan (July 2011).

9 H7 Parking Arrangements (Residential)

Notwithstanding the details shown on Drw. No. 2010/D84/1/05 Rev. D, a revised plan showing a total of 7 off-street car parking spaces including a disabled space shall be submitted to and approved in writing by the Local Planning Authority. The parking areas (including where appropriate, the marking of parking spaces) shown on the approved plans, shall be constructed, designated and allocated for the sole use of the occupants prior to the occupation of the development and thereafter be permanently retained and used for no other purpose.

REASON

To ensure that an appropriate level of car parking provision is provided on site in accordance with Policy AM14 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) and the London Plan (July 2011).

10 H11A Visibility Splays

The access for the proposed car parking shall be provided with those parts of 2.4m x 2.4m pedestrian visibility splays which can be accommodated within the site in both directions and shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced, in accordance with Policy AM7 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved

Policies (November 2012).

11 H13 Installation of gates onto a highway

No gates shall be installed which open outwards over the highway/footway.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM3 and AM8 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) and the London Plan (2011).

12 H16 Cycle Storage - details to be submitted

No part of the development hereby permitted shall be commenced until details of covered and secure cycle storage for at least 5 bicycles have been submitted to and approved in writing by the Local Planning Authority. The facilities shall be provided in accordance with the approved details prior to the occupation of the development and thereafter permanently retained.

REASON

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) and the London Plan (2011).

13 OM5 Provision of Bin Stores

No development shall take place until details of the covered and secure facilities to be provided for the screened storage of refuse bins within the site have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.

REASON

To ensure a satisfactory appearance and in the interests of the amenities of the occupiers and adjoining residents, in accordance with Policy OE3 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

14 RPD1 No Additional Windows or Doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing 22 and 26 Eastbury Road.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

15 RPD2 Obscured Glazing and Non-Opening Windows (a)

The first floor bathroom window facing No. 22 Eastbury Road and the second floor gable kitchen window facing 26 Eastbury Road shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

16 RPD4 Prevention of Balconies/Roof Gardens

The roof areas of the extension hereby permitted, other than that granted by this permission, shall not be used as a balcony, roof garden or similar amenity area.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

17 TL1 Existing Trees - Survey

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:

- (i) Existing and proposed site levels.
- (ii) Routes of any existing or proposed underground works and overhead lines including their manner of construction.

REASON

To enable the Local Planning Authority to assess the impact of the proposed development on existing trees, hedges and shrubs and to ensure that the development conforms with Policy BE38 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

18 TL2 Trees to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with

BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

19 TL3 Protection of trees during site clearance and development

Prior to the commencement of any site clearance or construction work, detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

20 TL5 Landscaping Scheme - (full apps where details are reserved)

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

21 TL6 Landscaping Scheme - implementation

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period. The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

22 TL7 Maintenance of Landscaped Areas

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

REASON

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

23 TL21 Tree Protection, Building & Demolition Method Statement

Prior to development commencing on site, a method statement outlining the sequence of development on the site including demolition, building works and tree protection shall be submitted to and approved by the Local Planning Authority, and the scheme thereafter implemented in accordance with the approved method statement.

REASON

To ensure that trees can be satisfactorily retained on the site in accordance with Policy BE38 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012).

24 DIS5 Design to Lifetime Homes Standards & Wheelchair Standards

All residential units within the development hereby approved shall be built in accordance with Lifetime Homes Standards as set out in the Council's Supplementary Planning Document 'Accessible Hillingdon'.

REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with Policy 3.8 of the London Plan (July 2011).

25 OM14 Secured by Design

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures shall be submitted and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with the London Plan.

26 NONSC Non Standard Condition

Development shall not begin until a sound insulation scheme for protecting the proposed residential units from internal noise has been submitted to and approved in writing by the Local Planning Authority. The scheme shall be fully implemented before the development is occupied and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

REASON

To ensure that the accommodation provides an adequate standard of residential amenity, in accordance with policy OE3 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) and Policy 7.15 of the London Plan (July 2011).

27 NONSC Non Standard Condition

Prior to the commencement of development a scheme demonstrating a 10% reduction in energy demand through energy efficiency improvements and the generation of electricity from renewable energy sources where feasible shall be submitted. The scheme shall clearly set out the annual baseline energy consumption (kWh) and associated emissions (KgCO₂). The scheme shall then include full details of how the baseline regulated energy demand is reduced by 10% through improvements to the fabric of the building and also the inclusion of on site renewable energy technologies. The development must proceed in accordance with the approved scheme.

Reason

To ensure carbon emissions are reduced in accordance with Policy 5.3 of the London Plan (July 2011).

NONSC

28 **Non Standard Condition**
Prior to the commencement of the scheme for the reduction in potable water use including the harvesting and recycling of grey and rain water shall be submitted to and approved in writing by Local Planning Authority. The scheme shall clearly set out how collected water will be reused in areas where potable water is not required, i.e. toilet flushing and irrigation of landscaped areas. The development must proceed in accordance with the approved scheme.

Reason

To ensure the development reduces the pressure on potable water in accordance with Policy 5.15 of the London Plan (July 2011).

29 **SUS5** **Sustainable Urban Drainage**

No development shall take place on site until details of the incorporation of sustainable urban drainage have been submitted to, and approved in writing by the Local Planning Authority. The approved details shall thereafter be installed on site and thereafter permanently retained and maintained.

REASON

To ensure that surface water run off is handled as close to its source as possible in compliance with policy 5.12 of the London Plan (2011).

30 **MRD8** **Education Contributions**

Before the development hereby permitted is commenced, a scheme shall be submitted to, and approved in writing by the Local Planning Authority detailing how additional or improved educational facilities will be provided within a 3 miles radius of the site to accommodate the nursery, primary and secondary school child yield arising from the proposed development. This shall include a timescale for the provision of the additional/improved facilities. The approved means and timescale of accommodating the child yield arising from the development shall then be implemented in accordance with the agreed scheme.

REASON:

To ensure the development provides an appropriate contribution to educational facilities within the surrounding area, arising from the proposed development, in accordance with Policy R17 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) and the Council's Supplementary Planning Guidance on Educational Facilities.

31 **SUS8** **Electric Charging Points**

Before development commences, plans and details of 1 electric vehicle charging point, serving the development and capable of charging multiple vehicles simultaneously, shall be submitted to and approved in writing by the Local Planning Authority.

REASON

To encourage sustainable travel and to comply with London Plan (July 2011) Policy 5.3

INFORMATIVES

1 **I52** **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8

(right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 153 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM14	New development and car parking standards.
BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE39	Protection of trees and woodland - tree preservation orders
LPP 3.5	(2011) Quality and design of housing developments
LPP 5.3	(2011) Sustainable design and construction
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006

3 11 Building to Approved Drawing

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 12 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

5 13 Building Regulations - Demolition and Building Works

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at

least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

6 15 Party Walls

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

carry out work to an existing party wall;

build on the boundary with a neighbouring property;

in some circumstances, carry out ground works within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

7 16 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

8 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

9 121 Street Naming and Numbering

All proposed new street names must be notified to and approved by the Council. Building

names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250557).

10 I43 **Keeping Highways and Pavements free from mud etc**

You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act 1980.

11 I58 **Opportunities for Work Experience**

The developer is requested to maximise the opportunities to provide high quality work experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

Please contact: Mr Peter Sale, Chief Executive Officer, Hillingdon Training Ltd: contact details - c/o Hillingdon Training Ltd, Unit A, Eagle Office Centre, The Runway, South Ruislip, HA4 6SE Tel: 01895 671 976 email: petersale@hillingdontraining.co.uk

12

As regards condition 8, the off site highway works will be implemented at the developer's expense and a legal agreement may need to be entered into with the Council under Section 278 of the Highways Act 1980 (as amended) or other appropriate legislation to deliver the off site highway works.

13

It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system. The hard standing shall therefore be so designed and constructed that surface water from the private land shall not be permitted to drain onto the highway or into the highway drainage system.

14

The applicant is advised to contact the Council's Highways Team in respect of construction of the new vehicle crossover for the proposed flats.

15

With regard to conditions 3, 4, 9, 10, 12, 13, 17, 20, 22, 23, 28, 29, 31 the Local Planning Authority acknowledge that details have been submitted and approved under reference 19305/APP/2012/2056 and that it considers that a further submission would not be required in relation to these conditions as long as the development is implemented in accordance with the approved details.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises a large detached two-storey property with accommodation in the roof space, sited on the east side of Eastbury Road, some 78m to the south of its

junction with Frithwood Avenue. Planning permission has recently been granted for the change of use of the building from a day care centre (Class D1) to provide 2 three-bedroom and 3 two-bedroom flats (Class C3).

The character of the surrounding area is essentially that of a traditional residential area, built at the end of the 19th Century and comprises large detached properties on spacious, verdant plots which forms part of the Northwood, Frithwood Conservation Area.

3.2 Proposed Scheme

The proposal is for an amendment to a previous planning approval for the construction of a proposed first floor amenity area for the approved first floor flat. This would involve the raising of the rear wall and the installation of a railing to a height of 1.1m and the provision of 1.8m high obscure glazed screens to the northern and southern side of the terrace in order to screen the views to the north and south.

3.3 Relevant Planning History

19305/APP/2011/1584 24 Eastbury Road Northwood

Erection of part ground floor, part first floor, part two storey side/rear extensions and extension and alteration of the roof, including a new rear gable, enlarged rear dormer, installation of new window on existing rear gable and five front and one rear rooflights and internal and external alterations, including the re-location of the front entrance to allow change of use of property from day care centre (Class D1) to provide 2 three-bedroom and 3 two-bedroom flats (Class C3), including alteration of rear terraces, front ramp, bin and cycle stores and associated parking, access and landscaping (involving demolition of existing extensions, external side staircase and front ramp)

Decision: 25-10-2011 Approved

19305/APP/2012/2056 24 Eastbury Road Northwood

Details pursuant to conditions 3, 4, 9, 10, 12, 13, 17, 20, 22, 23, 28, 29, 31 of planning permission Ref: 19305/APP/2011/1584 dated 27/10/2011 (Erection of part ground floor, part first floor, part two storey side/rear extensions and extension and alteration of the roof, including a new rear gable, enlarged rear dormer, installation of new window on existing rear gable and five front and one rear rooflights and internal and external alterations, including the re-location of the front entrance to allow change of use of property from day care centre (Class D1) to provide 2 three-bedroom and 3 two-bedroom flats (Class C3), including alteration of rear terraces, front ramp, bin and cycle stores and associated parking, access and landscaping (involving demolition of existing extensions, external side staircase and front ramp))

Decision: 29-01-2013 Approved

Comment on Relevant Planning History

Planning permission was granted under reference 19305/APP/2011/1584 for the erection of part ground floor, part first floor, part two storey side/rear extensions and extension and alteration of the roof, including a new rear gable, enlarged rear dormer, installation of new window on existing rear gable and five front and one rear rooflights and internal and external alterations, including the re-location of the front entrance to allow change of use of property from day care centre (Class D1) to provide 2 three-bedroom and 3 two-bedroom flats (Class C3), including alteration of rear terraces, front ramp, bin and cycle stores and associated parking, access and landscaping (involving demolition of existing extensions, external side staircase and front ramp).

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

AM14 New development and car parking standards.

BE4 New development within or on the fringes of conservation areas

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE22 Residential extensions/buildings of two or more storeys.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

BE39 Protection of trees and woodland - tree preservation orders

LPP 3.5 (2011) Quality and design of housing developments

LPP 5.3 (2011) Sustainable design and construction

HDAS-EXT Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

HDAS-LAY Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **13th February 2013**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Nine local addresses were consulted. Four letter of objection were received which are summarised as follows:

1. The proposal is unnecessary;
2. Will cause noise disturbance;
3. Overlooking neighbouring gardens and properties, resulting in loss of amenity for those already living adjacently.

Northwood Residents Association:

The NRA objects to this application in that it lies within the Frithwood conservation area and we feel that the proposed extension fails to preserve or enhance features which contribute to special or architectural and visual qualities of the building. Furthermore the proposed development fails to comply with UDP policies BE13, 15, 19, 20, 23 and OE1(i)

Internal Consultees

Conservation Officer:

The property is one of the original houses built at the end of the 19th century on Eastbury Road and employs a Lutyens-esque design, reminiscent of some of the buildings found in Hampstead Garden Suburb. Although it has had various additions, it remains a good quality house and one that forms an unbroken line of similar buildings on this side of the road within the Northwood, Frithwood Conservation area.

The scheme proposes minimal alterations and is sited to the rear of the property, the application would have an acceptable level of impact on the visual amenities of the host building and the wider views of the Frithwood Conservation Area.

Landscape/Tree Officer:

This proposal is to create a private amenity area for a first floor flat. This will be created by providing a timber decked balcony on the existing flat roof which will be accessible from French windows. A free-standing screen wall of brick and obscure glazing will be erected on the southern elevation to prevent overlooking of the neighbouring property at number 22 and provide privacy (and shelter) for the building occupants. The east and north edge of the balcony will be protected by a low wall with a tubular steel handrail above.

The proposed height of the railing is unclear. For external balconies or terraces, the required height is 1.1 metres from datum to the top of the handrail.

RECOMMENDATION: No objection, subject to clarification about the finished height of the railing around the balcony.

Access Officer: As the proposal relates to the installation of an amenity area for a first-floor flat, no accessibility and observations are deemed necessary.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

This application is an amendment to an existing permitted scheme. As such, the proposal is acceptable in principle and considered to be in accordance with Policy BE1 (Built Environment) of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012).

7.02 Density of the proposed development

Not Applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Members should note that the majority of the works relating to the property have previously been approved and that this application is for the provision of roof terrace above part of the approved single storey element to the rear of the property to serve the approved first floor flat. This would involve the raising of the rear wall and the installation of a railing to a height of 1.1m and the provision of 1.8m high obscure glazed screens to the northern and southern side of the terrace.

The Council's Urban Design/Conservation Officer notes that whilst the property is one of the original houses built at the end of the 19th century on Eastbury Road and employs a Lutyens-esque design, reminiscent of some of the buildings found in Hampstead Garden Suburb the scheme proposes minimal alterations and is sited to the rear of the property and would thus have an acceptable level of impact on the visual amenities of the host building and the wider views of the Frithwood Conservation Area.

The proposal is therefore considered to comply with Policy BE1 (Built Environment) of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies BE4, BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.04 Airport safeguarding

Not Applicable to this application.

7.05 Impact on the green belt

Not Applicable to this application.

7.06 Environmental Impact

Not Applicable to this application.

7.07 Impact on the character & appearance of the area

See Section 7.03.

7.08 Impact on neighbours

The proposed balcony would have a 1.8m high obscure glazed screens to the north and south and would also be sited some 5m away from the southern flank elevation of the building. It would be sited some 14m from the boundary with No. 26. Given these distances and the provision of glazed screens, the proposal is not considered to result in an unacceptable loss of privacy nor would the proposal result in any loss of light or overdominance to the adjoining properties.

The nearest neighbouring properties to the rear, in Kiln Way, are sited at an angle to the proposed balcony and a minimum of 22 metres away. Thus, given the distances involved, the angle of view and the provision of the glazed screens it is considered that these properties would not be significantly overlooked.

Furthermore, there are a number of hedges and trees on the boundaries of the site, within and outside of the site which are protected by Tree Preservation Orders or by virtue of their location in a conservation area. As such, these high trees and hedges would assist in screening the majority of the views from the proposed balcony.

The proposal is therefore considered to be in accordance with Policy BE1 (Built Environment) of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies BE19, BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.09 Living conditions for future occupiers

Not Applicable to this application.

7.10 Traffic impact, car/cycle parking, pedestrian safety

Not Applicable to this application.

7.11 Urban design, access and security

See Section 7.03.

7.12 Disabled access

Not Applicable to this application.

7.13 Provision of affordable & special needs housing

Not Applicable to this application.

7.14 Trees, Landscaping and Ecology

Not Applicable to this application.

7.15 Sustainable waste management

Not Applicable to this application.

7.16 Renewable energy / Sustainability

Not Applicable to this application.

7.17 Flooding or Drainage Issues

Not Applicable to this application.

7.18 Noise or Air Quality Issues

Not Applicable to this application.

7.19 Comments on Public Consultations

This is addressed in the main section of the report.

7.20 Planning Obligations

Not Applicable to this application.

7.21 Expediency of enforcement action

Not Applicable to this application.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

Not Applicable to this application.

10. CONCLUSION

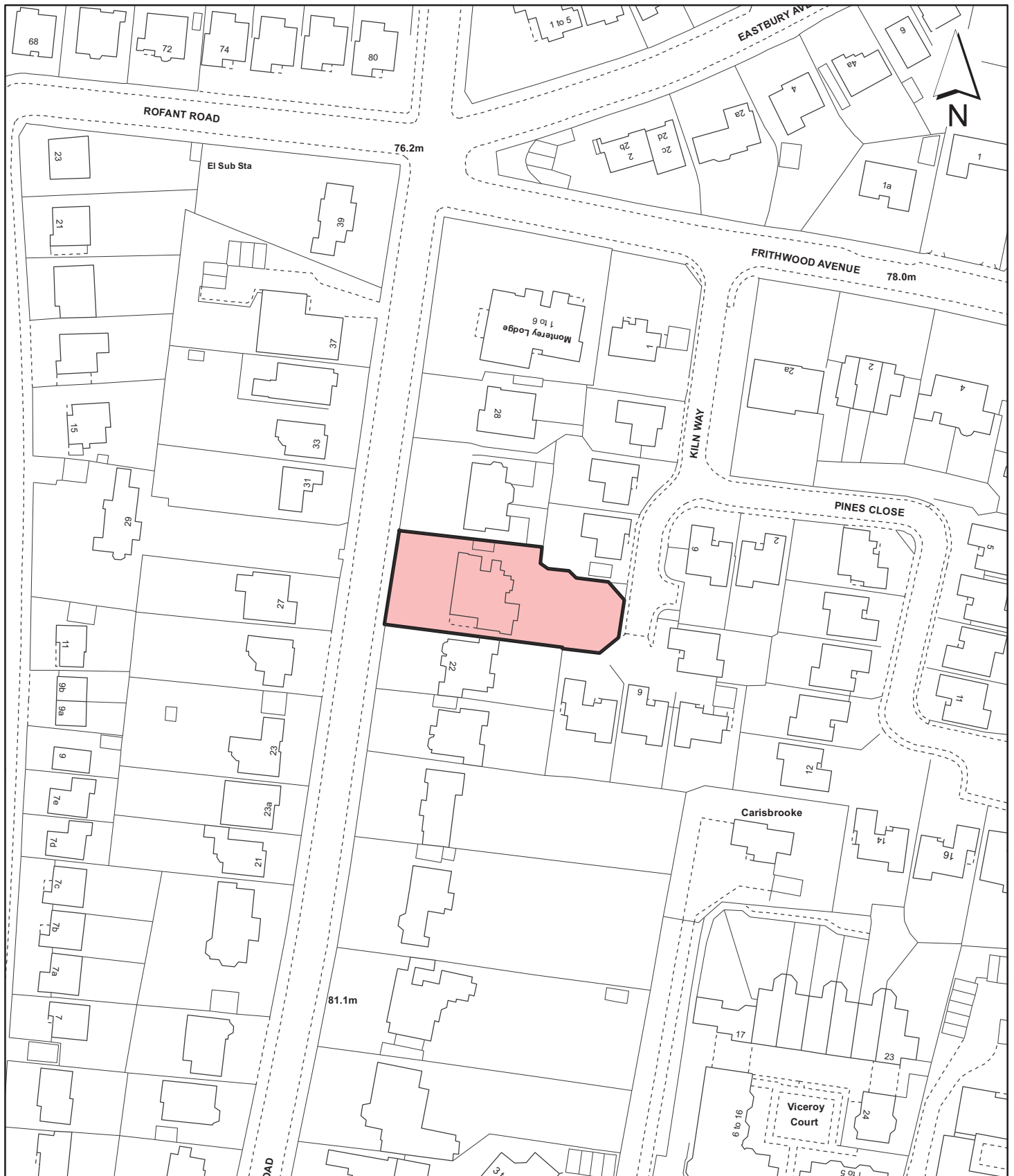
The proposed alterations are considered to be appropriate to the size and scale of the building and would maintain the character and appearance of the conservation area. There would not be an unacceptable impact on the adjoining occupiers in terms of loss of privacy or overdominance. Approval is therefore recommended.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012).
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).
London Plan (2011).

Contact Officer: Murtaza Poptani

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**24 Eastbury Road
Northwood**

Planning Application Ref:

19305/APP/2012/3107

Planning Committee

North Page 35

Scale

1:1,250

Date

**May
2013**

**LONDON BOROUGH
OF HILLINGDON
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address WALDERTON NORTHGATE NORTHWOOD

Development: Two storey, 6- bed, detached dwelling with habitable roofspace and associated parking and amenity space, involving demolition of existing dwelling

LBH Ref Nos: 47749/APP/2013/153

Drawing Nos: Tree Protection Plan
TP08/e
Energy Statement
Arboricultural Survey
TP07/e
TP06/e
TP04/e
TP03/e
TP05/e
TP02/e
TP13
TP12
TP10
TP11
Design and Access Statement
Location Plan to Scale 1:1250

Date Plans Received: 22/01/2013 **Date(s) of Amendment(s):**
Date Application Valid: 22/01/2013

1. SUMMARY

The scheme would be detrimental to the visual amenities of the streetscene and the wider Copsewood Estate Local Area of Special Character.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 **Non Standard reason for refusal**

The proposed development by reason of its siting, size, scale, bulk, layout and appearance in respect of its design features and architectural style, detailing and roof form would result in an incongruous and intrusive form of development that would be detrimental to the character, appearance and visual amenities of the street scene and the wider Copsewood Estate Area of Special Local Character. It would therefore be contrary to Policies BE5, BE13 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), Policies 3.5 and 7.4 of the London Plan (2011) and the council's adopted Supplementary Planning Document HDAS: Residential Extensions.

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies,

including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 **Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

BE5	New development within areas of special local character
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 5.3	(2011) Sustainable design and construction
LPP 5.13	(2011) Sustainable drainage
LPP 7.4	(2011) Local character
LPP 8.2	(2011) Planning obligations

3. CONSIDERATIONS

3.1 Site and Locality

The application site lies to the south of Northgate and is occupied by a two storey detached dwelling. The surrounding residential area is characterised by varied architectural designs, where many of the original houses have been replaced by good quality, vernacular style buildings.

Walderton itself is of no particular architectural merit, but its modest proportions render it a foil for Oakhurst next door, a locally listed, timber framed building of 1922, set in large grounds with mature planting. Two dwellings have recently been built in the grounds of Oakhurst, the access drive for which passes close by the boundary with Walderton. The detached dwellings in Northgate are mainly set back a little from the road and are within a pleasant wooded suburban landscape

The site is part of the 'Developed Area' as identified in Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and is located within the Copsewood Estate Area of Special Local Character (ASLC).

3.2 Proposed Scheme

Planning permission is sought for a two storey, 6- bed, detached dwelling with habitable roofspace and associated parking and amenity space, involving demolition of existing dwelling. Planning permission was granted application ref. 47749/APP/2012/2400 for a similar scheme for a four bedroom property in December 2012.

The current application is a resubmission of a previous approved scheme and now seeks to create two additional bedrooms in the roof space through the provision of the following:

- a new crown roof
- increasing the height of the proposed dormers
- rooflights
- French doors and balcony

3.3 Relevant Planning History

47749/93/0040 Walderton Northgate Northwood

Erection of single storey side and front extension incorporating garage (involving demolition of existing garage and single-storey side extension)

Decision: 18-05-1993 Approved

47749/APP/2012/2400 Walderton Northgate Northwood

Two storey, 4- bed, detached dwelling with associated parking and amenity space, involving demolition of existing dwelling

Decision: 07-12-2012 Approved

47749/C/97/0626 Walderton Northgate Northwood

To fell two Oak trees (T48 and T51) on TPO 173

Decision: 20-06-1997 Refused **Appeal:** 19-06-1998 Dismissed

Comment on Relevant Planning History

As above.

4. Planning Policies and Standards

On the 8th November 2012 the adoption of the Council's Local Plan: Part 1 - Strategic Policies was agreed at the Full Council Meeting. Policy BE1 of the Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012) is relevant to this application and in particular the following parts of that Policy:

BE1 - The Council will require all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods, where people enjoy living and working and that serve the long-term needs of all residents.

All new developments should:

1. Achieve a high quality of design in all new buildings, alterations, extensions and the public realm which enhances the local distinctiveness of the area, contributes to community cohesion and a sense of place;
2. Be designed to be appropriate to the identity and context of Hillingdon's buildings, townscapes, landscapes and views, and make a positive contribution to the local area in terms of layout, form, scale and materials and seek to protect the amenity of surrounding land and buildings, particularly residential properties;
3. Be designed to include Lifetime Homes principles so that they can be readily adapted to meet the needs of those with disabilities and the elderly, 10% of these should be wheelchair accessible or easily adaptable to wheelchair accessibility encouraging places of work and leisure, streets, neighbourhoods, parks and open spaces to be designed to meet the needs of the community at all stages of people's lives
7. Improve the quality of the public realm and provide for public and private spaces that are attractive, safe, functional, diverse, sustainable, accessible to all, respect the local character and landscape, integrate with the development, enhance and protect biodiversity through the inclusion of living walls, roofs and areas for wildlife (7.20), encourage physical activity and where appropriate introduce public art;
8. Create safe and secure environments that reduce crime and fear of crime, anti-social behaviour and risks from fire and arson having regard to Secure by Design standards and address resilience to terrorism in major development proposals.
9. Not result in the inappropriate development of gardens and green spaces that erode the character and biodiversity of suburban areas and increase the risk of flooding through the loss of permeable areas.
10. Maximise the opportunities for all new homes to contribute to tackling and adapting to climate change and reducing emissions of local air quality pollutants. The Council will require all new development to achieve reductions in carbon dioxide emission in line with the London Plan targets through energy efficient design and effective use of low and zero carbon technologies. Where the required reduction from on-site renewable energy is not feasible within major developments, contributions off-site will be sought. The Council will seek to merge a suite of sustainable design goals, such as the use of SUDS, water efficiency, lifetime homes, and energy efficiency into a requirement measured against the Code for Sustainable Homes and BREEAM. These will be set out within the Hillingdon Local Plan: Part 2 - Development Management Policies LDD. All developments should be designed to make the most efficient use of natural resources whilst safeguarding historic assets, their settings and local amenity and include sustainable design and construction techniques to increase the re-use and recycling of construction, demolition and excavation waste and reduce the amount disposed to landfill. All developments should be designed to make the most efficient use of natural resources whilst safeguarding historic assets, their settings and local amenity and include sustainable design and construction techniques to increase the re-use and recycling of construction, demolition and excavation waste and reduce the amount disposed to landfill.

Support will be given for proposals that are consistent with local strategies, guidelines, supplementary planning documents and development management policies Hillingdon Local Plan: Part 2 -Development Management Policies.

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

BE5	New development within areas of special local character
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 5.3	(2011) Sustainable design and construction
LPP 5.13	(2011) Sustainable drainage
LPP 7.4	(2011) Local character
LPP 8.2	(2011) Planning obligations

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

18 neighbours were consulted on 28th January 2013 and a site notice was erected adjacent the site, which expired on 22 February 2013. No individual letters were received commenting on the application but a petition with 22 signatures was received in support of the proposed development stating that crown roofs and dormer windows are a feature of the buildings in the area surrounding the application site.

Internal Consultees

URBAN DESIGN & CONSERVATION:

BACKGROUND: Permission was given for a four bed house one month before this application was lodged. This application proposes two extra bedrooms, to be accommodated in a very large crown roof, with tall roof lights in the side roof, and two tall dormers and a pair of French doors and balcony in the rear roof slope.

The proposed crown roof, the height of the proposed dormers and rooflights, and the French doors and balcony are features alien to the vernacular tradition and character of the Copse Wood Estate Area of Special Local Character. They would constitute inappropriate amendments to the previously approved scheme.

RECOMMENDATIONS: Unacceptable

TREE & LANDSCAPE OFFICER

Tree Preservation Order (TPO)/Conservation Area: This site is covered by TPO 173

Significant trees/other vegetation of merit in terms of Saved Policy BE38: There is a large, protected Oak (T51 on TPO 173) in the front garden, which formerly contained three more protected trees, that have died and have not been replaced (the plans show several trees that are no longer there). The other protected trees on-site are mostly Hornbeams, which are in or overhang the rear garden of the existing house. All of these protected trees contribute to the arboreal/wooded character of the Copse Wood Estate Area of Special Local Character and have high amenity values.

The important trees are retained as part of this scheme and the tree protection plan provides adequate protection.

Scope for new planting: The scheme should make provision for new planting in the front garden. In this case, three new trees (standard size and short staked) should be shown on the plans (along the front boundary) and should either be Wild Cherry or Field Maple; the chosen species of tree should be shown on the plans by way of notes.

Conclusion (in terms of Saved Policy BE38): Acceptable, subject to the amendment of the plans to show the existing tree cover and the new tree planting as described above, and conditions RES8, RES9 (1, 2, 5) and RES10.

ACCESS OFFICER

In assessing this application, reference has been made to London Plan July 2011, Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document Accessible Hillingdon adopted January 2010.

The proposal seeks to erect a six bedroom new dwelling which would be subject to the above policy requirements. The proposal appears not to have incorporated the 16 Lifetime Home standards which should be shown on revised plans.

The following access observations are provided:

1. Level access should be achieved. Entry to the proposed dwelling appears to be stepped, which would be contrary to the above policy requirement. Should it not be possible, due to topographical constraints, to achieve level access, it would be preferable to gently slope (maximum gradient 1:21) the pathway leading to the ground floor entrance door.

2. The scheme does not include provision of a downstairs WC, compliant with the Lifetime Home requirements. To this end, a minimum of 700mm should be provided to one side of the toilet pan, with 1100mm in front to any obstruction opposite.
3. A minimum of one bathrooms/ensuite facility should be designed in accordance with Lifetime Home standards. At least 700mm should be provided to one side of the WC, with 1100mm provided between the front edge of the toilet pan and a door or wall opposite.
4. To allow bathrooms to be used as wet rooms in future, plans should indicate floor gully drainage.
5. The plans should indicate the location of a future through the ceiling wheelchair lift.

Conclusion: revised plans should be requested as a prerequisite to any planning approval. In any case, an additional Condition, as set out below, should be attached to any planning permission:

Level or ramped access shall be provided to and into the dwelling houses, designed in accordance with technical measurements and tolerances specified by Part M to the Building Regulations 2000 (2004 edition), and shall be retained in perpetuity.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The site is currently previously developed land in residential use, therefore there is no objection to the principle of the redevelopment of the site, indeed, this was established by the previous approval on the site.

7.02 Density of the proposed development

Paragraph 4.1 of HDAS Residential Layouts specifies that in new developments numerical densities are considered to be more appropriate to larger sites and should not be used in the assessment of schemes of less than 10 units, such as this proposal. The key consideration is therefore whether the development sits comfortably within its environment rather than a consideration of the density of the proposal.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

As detailed in this report at Section 7.09 it is considered that the proposal would adversely impact on the character of the Copsewood Estate Area of Special Local Character.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy BE1 requires all new development to maintain the quality of the built environment including providing high quality urban design. Policy BE5 requires new developments within Areas of Special Local Character to harmonise with the materials, design features, architectural style and building heights predominant in the area. Policies BE13 and BE19 seek to ensure that new development complements and improves the character and amenity of the area.

The scheme approved in October 2012 was considered to reflect, though not totally, the vernacular tradition and character of the Copse Wood Estate Area of Special Local Character. However, the current proposal with its very large crown roof, the height of the proposed dormers and rooflights, the French doors and balcony are all design features and elements which are alien to the design ethos of the ASLC. The proposed development fails to complement or improve the character and amenity of the area in

terms of its detailing, design, siting, massing and large 'crown roof' feature and is therefore considered to represent an incongruous and intrusive form of development in the street scene and the Copsewood Estate Area of Special Local Character, contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE5, BE13 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), Policies 3.5 and 7.4 of the London Plan (2011) and the adopted Supplementary Planning Document (SPD) HDAS: Residential Layouts.

7.08 Impact on neighbours

Paragraph 4.11 of HDAS Residential Layouts states that the 45° principle will be applied to new development to ensure the amenity of adjoining occupiers and future occupiers are protected. Paragraph 4.9 states that a minimum acceptable distance to minimise the negative impact of overbearing and overshadowing is 15m. Paragraph 4.12 requires a minimum of 21m distance between facing habitable room windows to prevent overlooking and loss of privacy. All of these requirements are met by the proposed development and overall the proposed development would not constitute an un-neighbourly form of development by virtue of its siting, massing, projection, distance to the boundary and existing screening and would thus accord with Policies BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.09 Living conditions for future occupiers

Paragraphs 4.6 to 4.8 and Table 2 of the Council's SPD HDAS: Residential Layouts advises that 5 bedroom two-storey units should have a minimum floor area of 101 square metres. Furthermore, London Plan Policy 3.5 and Table 3.3 states that 5 bedroom two-storey houses should have a minimum size of 107 square metres. The proposed development meets minimum standards providing 528 square metres of gross internal floor area. The Mayor's Housing Supplementary Planning Guidance (November 2012) requires the minimum area for a single bedroom to be 8 square metres and a minimum floor area for a double bedroom to be 12 square metres. The proposed dwelling complies with these standards.

HDAS advises in Paragraph 4.15 that four bedroom plus houses should have a minimum private amenity area of 100 square metres. The proposed development exceeds amenity standards by providing approximately 200 square metres.

It is therefore considered that the proposed development would provide a high standard of living for future occupiers in accordance with Policy BE23 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), Policy 3.5 and Table 3.3 of the London Plan (2011), the adopted SPD HDAS Residential Layouts and the Mayor's Housing Supplementary Planning Guidance (November 2012).

7.10 Traffic impact, car/cycle parking, pedestrian safety

Parking is proposed to the east side of the building and continuing on the forecourt at the front. The Highways officer raises no objection. This element is therefore considered to be acceptable.

2 parking spaces are proposed on the site as existing as per Policy 6.13 of the London Plan and in compliance with Policy AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.11 Urban design, access and security

See section 7.09.

7.12 Disabled access

The Access Officer has confirmed the use of a condition to secure Lifetime Homes Standards is acceptable in this instance as the proposed dwelling has a spacious interior

which could accommodate the requirements.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, Landscaping and Ecology

The Tree and Landscape Officer raises no objections to the proposal on soft landscaping and protection terms subject to the imposition of conditions, which could be added if the scheme were recommended for approval. As such the proposal would not conflict with Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.15 Sustainable waste management

Policy 5.6 of the London Plan requires development to have regard to and contribute to a reduction in waste produced. This could have been conditioned had the scheme been recommended favourably.

7.16 Renewable energy / Sustainability

Policy 5.3 of the London Plan requires the highest standards of sustainable design and construction in all developments to improve the environmental performance of new developments and to adapt to the effects of climate change over their lifetime. This could have been conditioned had the scheme been recommended favourably.

7.17 Flooding or Drainage Issues

The application site is not within a Flood Risk Area and the issue of sustainable urban drainage could have been conditioned had the scheme been recommended favourably.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

The issues raised are covered in the main report.

7.20 Planning Obligations

The proposed development would exceed 100sq.m and therefore there would be a requirement to make a CiL contribution.

The proposed development would not give rise to a net increase of 6 habitable rooms and as such would not trigger the requirement for Educational Contributions in accordance with Policy R17 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

Not applicable to this application.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The

specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

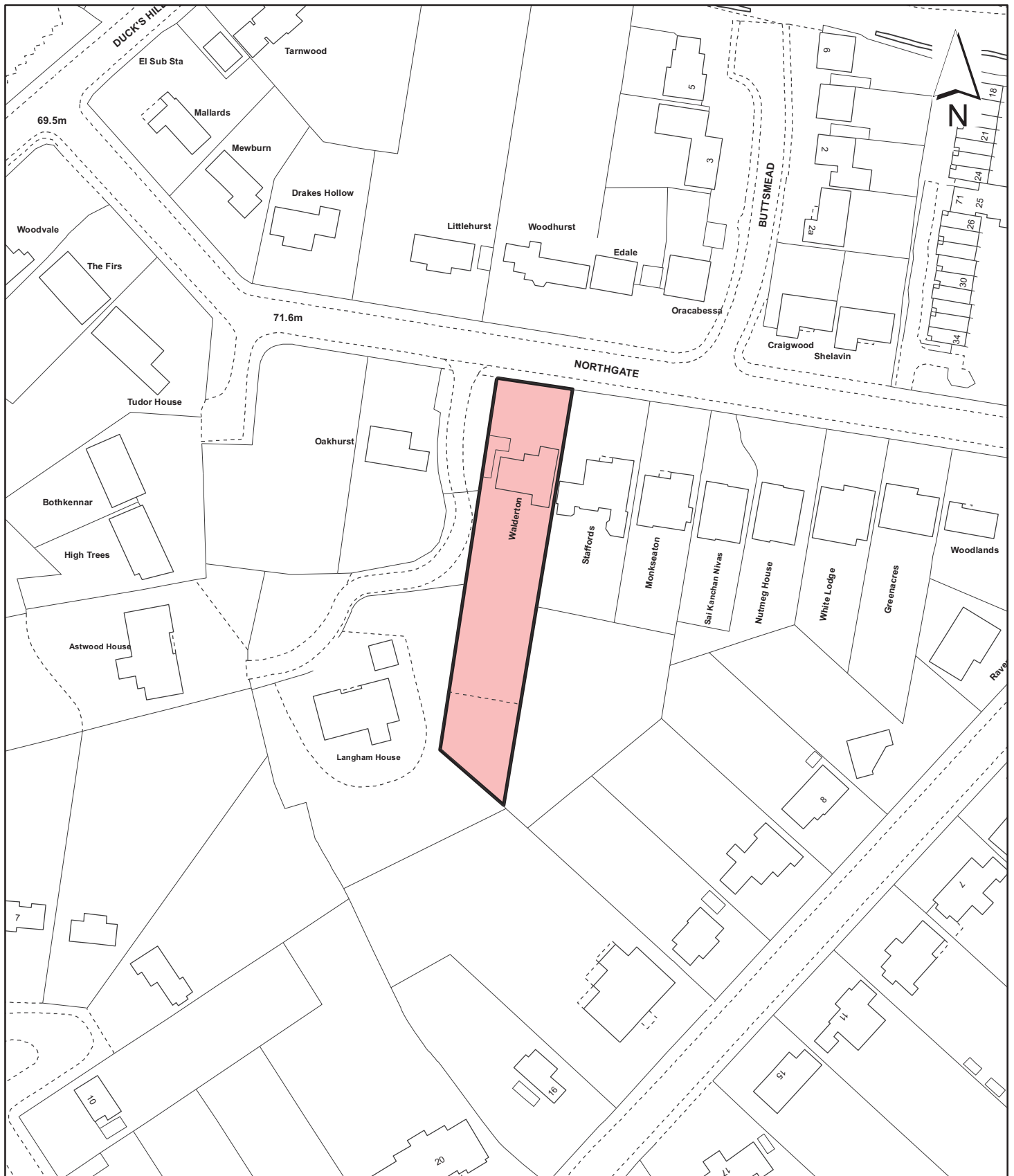
It is considered that overall the scheme is contrary to the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), HDAS Residential Layouts and the London Plan (2011). The application is therefore recommended for refusal.

11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
HDAS: Residential Layouts
The London Plan 2011
The Mayor's Housing Supplementary Planning Document (November 2012)
HDAS: Accessible Hillingdon
National Planning Policy Framework

Contact Officer: Henrietta Ashun

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**Walderton, Northgate
Northwood**

Planning Application Ref:

47749/APP/2013/153

Planning Committee

North Page 47

Scale

1:1,250

Date

**June
2013**

**LONDON BOROUGH
OF HILLINGDON
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address 16 FARMLANDS EASTCOTE
Development: single storey side/rear extension.
LBH Ref Nos: 68966/APP/2013/113
Drawing Nos: 1331 PL02
1331 PL04
1331 PL01 Rev. A
1331 PL03 Rev. A
1331 PL05 Rev. A

Date Plans Received: 17/01/2013 **Date(s) of Amendment(s):** 04/03/2013
Date Application Valid: 17/01/2013

DEFERRED ON 8th May 2013 FOR SITE VISIT ON

This application was deferred from the committee of the 8th May 2013 for a site visit.
The site visit took place on the 22nd May.

1. CONSIDERATIONS

1.1 Site and Locality

The application relates to a two storey semi-detached dwelling located on the western side of Farmlands. The building is set back from the main highway and the external walls of the building have been coated in render and exposed brickwork. The dwelling has space to park one car on the hardstanding in front of the principal elevation, along with one garage space, and has a private garden to the rear of the building. The street scene is residential in character and appearance and the application site lies within the developed area as identified in the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

1.2 Proposed Scheme

The application is for the erection of a single storey side/rear extension involving demolition of the existing garage to the side. The proposed single storey side extension would be set back by 1m from the principal elevation of the dwelling and would measure 2.6m in width. This element would be characterised with a mono pitched roof with a hipped section and a parapet wall. A single window would be inserted to the front elevation. The single storey rear element of the proposal would have a depth of 3.6m and would also be characterised with a mono pitched roof with a maximum height of 3.45m. The rear elevation would accommodate one window and a set of patio doors with a glazed gable end feature and two windows either side of the patio doors. The side and rear extensions would merge to form a wrap around extension. The proposed extension would create an enlarged open plan kitchen/dining room and a new bedroom.

1.3 Relevant Planning History

68966/APP/2013/520

16 Farmlands Eastcote

Conversion of roof space to habitable use to include a rear dormer with Juliette balcony, 2 front rooflights and conversion of roof from hip to gable end (Application for a Certificate of Lawful Development for a Proposed Development)

Decision Date: 21-03-2013

Approved

Appeal:

Comment on Planning History

No relevant history.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

Nine local addresses were consulted. Seven responses were received which are summarised as follows:

1. The side element of the proposal would unbalance appearance of the adjoining property.
2. The hip to Gable and rear dormer extension would be out of scale and would not harmonise with the existing building and surrounding properties.
3. The proposal would result in increased on street parking.
4. The single story rear extension would result in a loss of amenity.

The above is addressed in the main body of the report.

A petition with 20 signatures was originally received objecting to the proposal. Following the deferral of the application at the committee meeting of the 8th May, a further petition with 20 signatures has been received. Both petitions highlight the same issues and object to the proposal on the following grounds:

1. The plans are inaccurate The height of the roof over the side extension appears to be lower from the view taken at the side of the extension than the view from the front. Furthermore, the side view shows the side/rear extension roof to be gable-ended rather than hipped and pitched. Thirdly, we feel that the remaining hardstanding may not be deep enough to accommodate a standard family car, the minimum depth required for which is 4.8 metres.

The Plans show that the hard-standing space to the front of the existing garage now can comfortably accommodate one vehicle with considerable extra space. The applicants regularly park two cars on the drive, with the second car blocking the public pathway outside, forcing pedestrians to walk onto the road to get past. The applicants already appear to feel they have insufficient parking space even when there is one car in their driveway and another in their front garden. As you can see from the two photographs below, they resort to parking in the road in a somewhat unorthodox vertical fashion. The remaining hard-standing, in the event of an extension, is probably less that presented on the application. In fact, it is unlikely to be able to accommodate even one standard family car, falling short of the minimum depth required which is 4.8 metres.

There is a lack of symmetry or alignment with respect to the windows within the rear elevation of the house and this will only appear to significantly worsen if the occupants proceed with the construction of a full width rear loft extension as approved as permitted development. The poor alignment of the fenestration represents poor design and totally unbalances the existing symmetry of the existing house. Such fundamental flaws and inaccuracies are clear to see and can be proved by visiting the location. The measurements have been drawn to a scale which supports the application and differs from what is factually in place. We feel the plans should be accurate and much more precise.

2. If the garage of No 16 is extended forward, the access by car to the garage of No 17, whose driveway is adjacent to no.16, will be severely restricted. Indeed it is likely that the resident of No 17 will be unable to open the passenger door of a car in her driveway because the extended garage next door would impede it. Whilst there is potentially room available to provide an additional parking space within the front garden of no.16, access to the garden is difficult and only practically possible by utilising the neighbouring drive at no 17 and furthermore relying on there being no vehicles in the driveways of nos 16 and 17 at that time. The garages of Number 16 and 17 Farmlands have a shared 100mm thick party wall (plus piers) that separates their adjoining garages. This wall is in good condition and serves its purpose, having recently been inspected by a Chartered Building Surveyor for the owner of No 17 Farmlands. The party wall encloses the garage of No 17 and supports the garage timber-framed flat roof. Drawing No PL. 113-PL03 details the proposal to demolish this party wall and construct a raised replacement wall that extends 2 metres to the front and 0.5m to the rear. The application makes no reference on how the new wall will be constructed whilst providing support and safety to both the roof and the uninterrupted use of the garage and driveway of No 17. The patio at the rear of no 17 has been totally ripped up by the roots of a tree at no.16 in the location of the proposed back extension. Some two years ago insurers of no 17 arranged the felling of the offending tree, but unfortunately the roots were not killed off. Since then insurers have repeatedly requested access from no.16 to finish off the works, but have received no co-operation. The patio at the rear of no 17 is broken, slippery and dangerous and will become more problematic if foundation work to the rear of no. 16 is undertaken. The proposal is for a substantial wrap around side and rear extension to a depth of 3.5 metres which is to be constructed up to the boundary with the neighbours at No. 15 Farmlands. The proposed rear extension will have a pitched roof. Per the Scaling Drawing No 1331-PL05, the height of the pitched roof will range from 2.5m at the eaves to 3.5m at the junction of the rear wall. The single storey rear extension, by virtue of its depth, height and location, will cause a material loss of amenity to the family living at No 15 Farmlands, by reason of overshadowing, loss of light and outlook. The extension will impact significantly on their privacy and quality of life, both inside the house and in their garden.

3. The property is located in a prominent position opposite the T Junction at the top end of Farmlands, from which two cul-de-sacs with a total of twenty six houses are located. This is the only vehicular access to these properties. The line of sight for drivers coming up and down the road and turning left or right at the T-junction is already severely restricted due to so many vehicles already parking there. Large industrial and commercial vehicles already find it difficult to negotiate around this junction. A further loss of space outside no.16 would cause even more problems. As it is, we feel very strongly that the situation at this junction is already an accident waiting to happen

We feel that the size and bulk of the proposed developments would be over-development focused on maximising the internal floor space to the detriment of the external

appearance and character of the surrounding area. Clearly it would result in a loss of light to all the houses surrounding it and would overlook those properties. The proposals to extend the existing garage forward towards the front wall of the main house, incorporating a side parapet wall, introduces an incongruous design feature within the street and one which will appear overly dominant. It detracts from the character and appearance of the original house and represents a totally alien feature within the street scene. The hipped and pitched roof which is proposed over the side extension, whilst generally in keeping with the main roof of the house, will be at odds with the proposal for a change from hipped to gable, should the owners decide to implement those proposals, as permitted under the General Permitted Development Order. The proposals for a large and imposing wrap around side to rear extension will significantly add to the existing footprint of the house to a point where it would not appear subordinate to the main house and would not be in keeping with the character and appearance of the original house and the other houses on the street. Such large extensions are not characteristic of the surrounding area.

4. There are a number of unsatisfactory drainage issues which currently exist and which would be exacerbated by further development. It should be borne in mind that Farmlands is in a flood plain risk area. The linked garages of numbers 16 and 17 have a shallow pitched roof finished with bituminous felt. The roof discharges into an eaves gutter to the rear of the elevation. The gutter was originally designed and built to discharge into separate rainwater pipes within the rear gardens of numbers 16 and 17 Farmlands. The applicants have disconnected their rainwater pipe and allowed the rainwater collected within the gutter to discharge solely into the rainwater pipe of No 17. This was done without the permission of the owner of No 17 Farmlands and has resulted in damp issues to the garage of No 17. The submitted drawings do not detail the proposed drainage to the new extension. The rainwater collecting off any new extension must not discharge into the existing gutter and rainwater pipe of No 17, but into rainwater pipes within the curtilage of their property. The proposed side extension will extend two metres in front of the existing garage door line. The extension would therefore be built over the existing shared yard gulley which is positioned along the boundary and collects the rainwater that falls onto the driveways of both numbers 16 and 17 Farmlands. The submitted drawings neither detail the existing yard gulley nor propose any replacement surface water drainage system. There is no reference to a replacement yard gulley, a soak-away and driveway resurfacing works to prevent the driveway and garage of No 17 from flooding after the proposed construction of the extension.

The applicants have submitted a parking layout showing on-site car parking for only one car within the existing curtilage of the house. The proposals if approved would create a four bedroom house which would increase to a 5 bedroom house if the roof extensions are implemented in accordance with the Certificate of Lawful Development. At the same time they will be losing the parking space within the garage, once it is converted to a habitable room. Whilst the Council's Residential Extension Guidelines are silent as to the number of parking spaces required when a house is being extended, it is considered that the provision of only one car parking space to serve a four, and potentially five, bedroom house would be woefully inadequate, and would result in parking having to take place on the street, in an area which already suffers significant high demand for on-street parking. Incidents have been reported to the Police and the Safer Neighbourhood Teams where cars have been parked across the public pathway at no.16 Farmlands.

5. We understand that the properties at numbers 10, 11, 12 and 13 Farmlands, all across

the road from no 16 have historical and ongoing subsidence issues. It is a real and worrying possibility that the works mentioned in this application will substantially disrupt the land around the property in question and the surrounding area, causing even more subsidence than has been the case to date. Our subsidence concerns are for two reasons firstly that the properties attached to No 16 may suffer immediate subsidence, and secondly the Borough, and ultimately us council tax payers, may face a large bill if the properties numbered 10 to 15 inclusive (which all form part of Hillingdon s housing stock) suffer subsidence problems.

1. Officers have checked the plans and consider that they are accurate and reflect the proposed development.

With regard to parking the existing garage has an internal width of 2.4m, which is sub-standard and not sufficient to use for parking. Thus, the property currently has only one usable parking space. The provision of one space is comparable to the existing situation. The proposed space is of sufficient depth to ensure that a parked vehicle would not overhang the footway.

The issue of the design of the extension is covered in the main report. The question of permitted development is outside the remit of this application.

2. The issues relating to impeding the adjoining neighbours driveway, party wall matters and damage due to existing trees are not planning issues. The impact of the proposal on adjoining occupiers is covered in the main report.

3. The development of the property with a single storey side/rear extension is unlikely to impact on highway matters to such an extent that refusal could be justified.

These matters are covered in the main report.

4. Issues of drainage are not planning matters. The site is not located within a flood zone.

See above.

5. Issues of subsidence are not planning matters.

Ward Councillor requests that the application be determined by the Planning Committee.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
LPP 3.5	(2011) Quality and design of housing developments
LPP 5.3	(2011) Sustainable design and construction
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

5. MAIN PLANNING ISSUES

The main issues for consideration in determining this application relate to the effect of the proposal on the character and appearance of the original dwelling, the impact on the visual amenities of the surrounding area, the impact on residential amenity of the neighbouring dwellings, provision of acceptable residential amenity for the application property and the availability of parking.

The side extension element of the proposal would be set back by approximately 1m from the front elevation of the main dwelling and would be in the same position as existing garage. This element of the proposal would be similar in appearance to the existing front elevation of the garage and would not be out of character with the host dwelling and the surrounding area. The side extension will have a maximum height of 3.45m which is considered compliant with the Hillingdon Design and Accessibility Statement Residential Extensions (HDAS). The pitch of the roof would be similar to the pitch of the main dwelling. The remainder of the side extension would not be visible from the street scene. As such, this element of the proposal is considered acceptable.

The rear element of the proposal would have a depth of 3.6 metres and a height of 3.45 metres with mono-pitched roof and a gable end feature. The height and depth of the rear extension would be compliant with the guidance for a single storey rear extension contained within chapter 3 of the Hillingdon Design and Accessibility Statement Residential Extensions (HDAS). Furthermore, the extensions siting to the rear of dwelling would not result in it appearing overbearing and obtrusive in terms of the street scene.

The size and design of the extension is considered to harmonise with the appearance of the existing dwelling and its siting to the rear would ensure it would not be exceptionally visible from the highway of Farmlands. Therefore, the proposed extensions would have an acceptable impact on appearance of the existing dwelling and the visual amenities of the surrounding area, in compliance with Policy BE1 (Built Environment) of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

The adjoining dwelling to the south of the application site does not benefit from any extensions to the rear of the property. However, the rear element of the proposal would have a depth of 3.6 metres and a height of 3.45 metres with a mono-pitched roof. The height and depth of the rear extension would be compliant with the guidance for a single

storey rear extension contained within chapter 3 of the Hillingdon Design and Accessibility Statement Residential Extensions (HDAS) and as such would have an acceptable level of impact on the amenities of adjoining occupiers.

The dwelling to the north of the application site has a garage along the common boundary with the application site and is sited on a higher level than the application site. Due to this garage, the proposed single storey side/rear extensions would be screened from the rear aspects of the dwelling to the North. The impact to this dwelling is considered to be at an acceptable level due to the limited 3.6m depth of the proposed extension and the limited height at 3.45m

As such, the proposed extensions are not considered to have an adverse impact on the neighbouring dwellings to the north and south numbers in terms of loss of light, loss of outlook or sense of dominance. Therefore, the development would comply with Policies BE20 and BE21 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

There are no proposed windows to the flank elevations. A condition is recommended to prohibit the installation of flank windows as part of the development. This would ensure no significant loss of privacy would occur to any neighbouring occupier, in compliance with Policy BE24 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

The proposed development would create an open plan kitchen and dining room to the rear of the extension. The proposed rooms would have light and outlook provided from the various doors and windows. Therefore, the development is considered to comply with Policy BE20 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Policy 3.5 of the London Plan (2011).

The proposal would result in an increase in the number of bedrooms from three to four, and would thus require the provision of a minimum of 100 square metres of garden space. The property currently has 162 sq.m and this would be reduced to 138sq.m. Therefore, sufficient private amenity space would be provided for the occupiers of the dwelling in compliance with Policy BE23 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the HDAS Residential Extensions.

The proposed development would result in the loss of the existing garage. However the existing garage is not considered large enough to accommodate a vehicle of a normal size and as such the dwelling only benefits from one off road parking space to the front driveway. Given the cul-de-sac location of the application dwelling and that the property would continue to benefit from one off road parking space, the level of off road parking is considered acceptable in this instance. Therefore, the development would be considered to comply with Policy AM14 of the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

The development would have an acceptable impact on the visual amenities of the surrounding area and the residential amenity of both neighbouring occupiers and occupiers of the application building. Therefore, the application is recommended for approval.

6. RECOMMENDATION

APPROVAL subject to the following:

1 HO1 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 HO2 Accordance with approved

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 1331 PL01 Rev. A, 1331 PL03 Rev. A and 1331 PL05 Rev. A as received on 4 March 2013.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the London Plan (July 2011).

3 HO4 Materials

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building and shall thereafter be retained as such.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

4 HO5 No additional windows or doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the flank walls of the development hereby approved.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

INFORMATIVES

- 1 On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies), then London Plan Policies. On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
LPP 3.5	(2011) Quality and design of housing developments
LPP 5.3	(2011) Sustainable design and construction
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.
- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a

development that results in any form of encroachment.

- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).
- 6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).
- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
- carry out work to an existing party wall;
 - build on the boundary with a neighbouring property;
 - in some circumstances, carry out groundworks within 6 metres of an adjoining building.
- Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.
- 8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.
- 9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In

particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

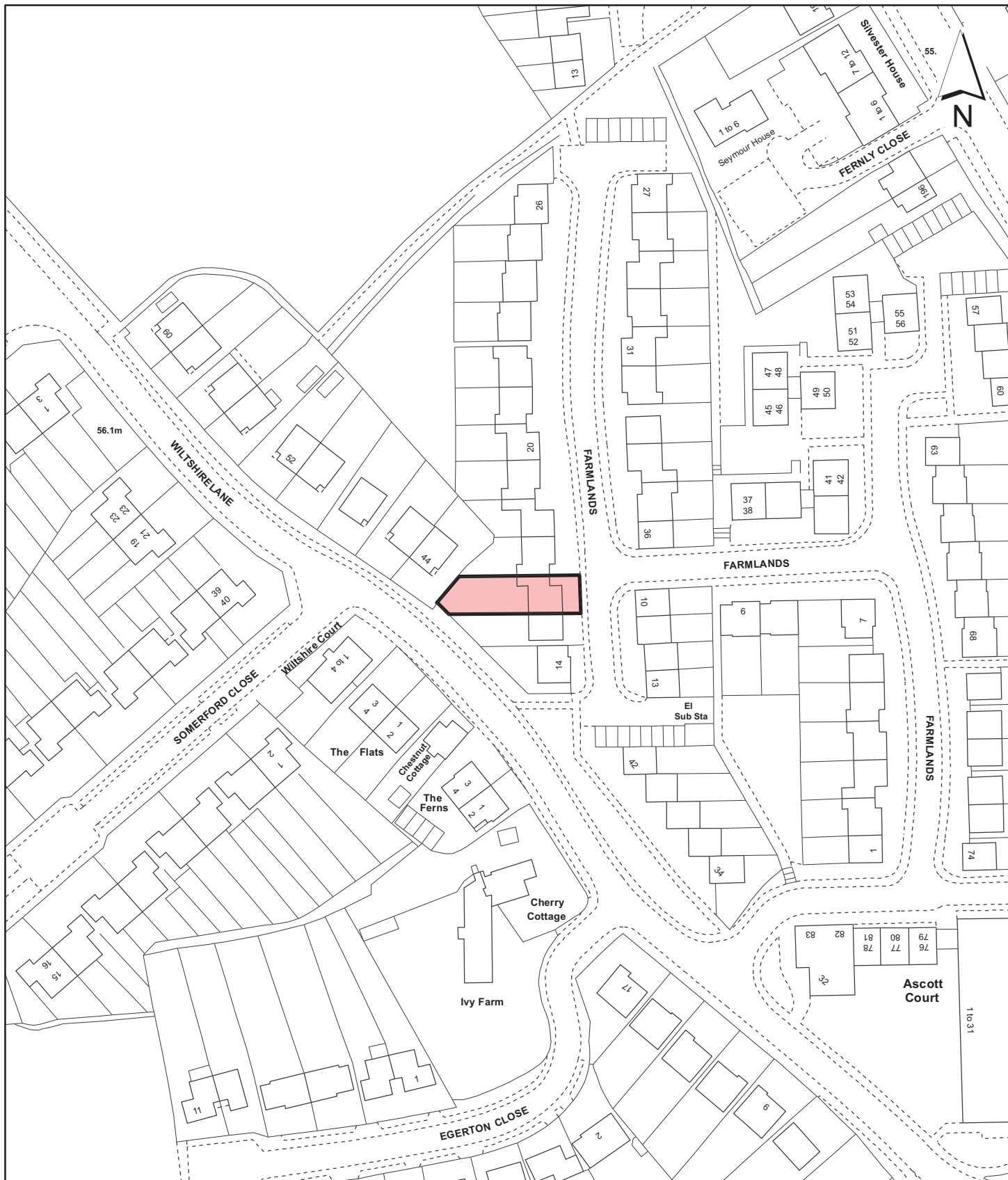
D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.


- 10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.
- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO₂) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Nicola Taplin

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address	
16 Farmlands Eastcote	
Planning Application Ref:	Scale
68966/APP/2013/113	1:1,250
Planning Committee	Date
North Page 60	April 2013

LONDON BOROUGH OF HILLINGDON

Residents Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON

LONDON

Report of the Head of Planning, Sport and Green Spaces

Address 524-526 VICTORIA ROAD RUISLIP

Development: Change of use from Use Class A1 (Shops) to Use Class D1 (Non-residential Institutions) to provide childcare provision involving alterations to rear elevation

LBH Ref Nos: 36666/APP/2013/395

Drawing Nos: 1035.2
Block Plan to Scale 1:500
7E
1035.3 Rev. A
1035.1 Rev. C
Supporting Statement
Travel Assessment
Travel Plan
Arrivals and Departures Profile Plan
Future Travel Parking Considerations
Childcare Sufficiency Assessment

Date Plans Received: 19/02/2013 **Date(s) of Amendment(s):**

Date Application Valid: 21/02/2013

1. **SUMMARY**

The site lies within the Core Area of South Ruislip Local Centre and the property is currently in A1 (retail) use, albeit vacant. It is considered that the proposed change of use would lead to an unacceptable loss of an A1 unit which would harm the vitality and viability of the shopping area.

Furthermore, the parking provision would be insufficient for the proposed development nor would a reliable source of parking be provided (as the allocated parking is outside the ownership of the applicant); leading to overspill parking in Victoria Road, which would be prejudicial to highway safety. Additionally, the proposed play area and parking would be poorly sited and would not provide a suitable location for a nursery play area or parking.

As such the application is recommended for refusal.

2. **RECOMMENDATION**

REFUSAL for the following reasons:

1 NON2 **Non Standard reason for refusal**

The proposed change of use from a retail unit to a use for childcare provision within the designated Core Area of the South Ruislip Local Centre would result in the loss of a retail unit and would undermine the attractiveness of the Core Area which has been defined to identify the minimum number and range of shops needed to carry out its function. The proposal would thus harm the vitality and viability of the South Ruislip shopping area and would be contrary to Policy S9 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

2 NON2 **Non Standard reason for refusal**

It has not been demonstrated that the proposed car parking provision at the site would be adequate to serve the development or that it would be retained and available for the lifetime of the development and would also constitute a loss of parking for adjacent uses. The proposal would thus result in indiscriminate parking, undue traffic and congestion in the locality prejudicial to highway safety and contrary to Policies AM7, AM9, AM14 and R12 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

3 NON2 Non Standard reason for refusal

The character and visual quality of the rear service area is incompatible with the proposed use as play area by virtue of its poor quality landscaping, boundary treatment, lack of maintenance, lighting and poor natural surveillance and would thus not provide a safe and secure location for such a use, contrary to Policy BE1 of the Hillingdon Local Plan Part 1: Strategic Policies (November 2012) and Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

4 NON2 Non Standard reason for refusal

The proposed parking area is not safe or secure by virtue of its lack of maintenance and inadequate lighting and as a result the area would not be suitable for the dropping off/picking up of children or for the use by pedestrians and cyclists. The proposal would thus be contrary to Policy AM9 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and Policy BE1 of the Hillingdon Local Plan Part 1: Strategic Policies (November 2012).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation

	measures
S9	Change of use of shops in Local Centres
R12	Use of premises to provide child care facilities
LPP 3.18	(2011) Education Facilities

3 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies.

On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

3. CONSIDERATIONS

3.1 Site and Locality

The application site relates to a ground floor double retail unit within the shopping parade, which has been vacant for 8 months.

The building is three storeys in height with residential uses on the upper floors. The property has a gross internal floor area of 1,535 square metres and was formerly occupied by 'Gintred Limited' Suppliers of Wooden Flooring.

There is a wide footway to the front of the property, together with a service/access road to the rear.

The site is located on Victoria Road, a classified highway, and directly adjacent to the site there are parking restrictions that prevent parking during the daytime.

The site is situated within the Core Area of South Ruislip Local Centre and within the Developed Area as identified in the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

3.2 Proposed Scheme

The proposed development is for the change of use from A1 (Retail) to D1 (Non-Residential Institution) to provide a children's nursery. It is proposed that the Nursery will accommodate up to 30 children between the ages of 3 months and 5 years, who will attend either morning, afternoon or full daily sessions.

Opening hours would be 6.30am to 19.30pm Monday to Friday and 8.00am - 13.00pm on a Saturday.

The internal layout would comprise a large nursery area with associated office and staff room. To the rear would be a kitchen, store, three WC's and a babies room. A children's outdoor play area would be provided within the existing rear yard area. The bin storage areas are also proposed within the rear yard. An existing window on the rear elevation is proposed to be removed and a new door is proposed to be installed.

The applicant has stated that 12 members of staff would be employed, 4 of which would be employed full time and 8 would be employed on a part-time basis.

6 parking spaces are proposed, including 1 permanent parking space and 5 drop-off bays; albeit outside of the demise of the applicant's ownership. It is suggested by the applicant that 75% of children would arrive by foot being dropped off by parents en-route to work by public transport. Cycle parking would be provided for 4 bicycles.

3.3 Relevant Planning History

36666/A/92/3543 524-526 Victoria Road Ruislip
Installation of an internally illuminated fascia sign

Decision: 10-06-1992 Approved

36666/APP/2012/2958 524-526 Victoria Road Ruislip
Change of use from Use Class A1 (Shops) to Use Class D1 (Non-residential Institutions) to provide childcare provision involving alterations to rear elevation.

Decision: 04-02-2013 Refused

Comment on Relevant Planning History

Planning permission was refused under reference 36666/APP/2012/2958 for a change of use from Class A1 to D1 and associated alterations to provide a nursery on the following grounds:

1. The proposed change of use of from retail unit to childcare provision within the designated Core Area of the South Ruislip Local Centre would result in the loss of this retail unit and would undermine the attractiveness of the core area which has been defined to identify the minimum number and range of shops needed to carry out its function thus harming the vitality and viability of that shopping area. The proposal is therefore contrary to Policy S9 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

2. The applicant has failed to demonstrate that there will be adequate cycle and car parking facilities that will serve the development, particularly for the dropping off and picking up of children and would thus result in undue traffic and congestion in the locality and would be prejudicial to highway safety and traffic contrary to Policies AM7, AM9 and AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

Post refusal discussions were held between the Applicant and Council Officers, where it was maintained by Officers that the principle of the development is unacceptable in this location. Nevertheless this re-submission application seeks to address the reasons for refusal of the previous application through the provision of additional information as follows:

- confirmation of cycle storage facilities,
- confirmation of the 6 parking spaces (including 1 permanent space and 5 drop-off bays),
- A Transport Assessment and a Travel Plan.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
S9	Change of use of shops in Local Centres
R12	Use of premises to provide child care facilities
LPP 3.18	(2011) Education Facilities

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

5 neighbours and South Ruislip Residents Association were consulted and a site notice was erected adjacent the site.

A petition with 24 signatories in support of the scheme was submitted with the application.

Internal Consultees

Trees and Landcape Officer:

There are no trees or other landscape features of merit which might constrain development. No trees or other significant landscape features will be affected by the proposal. External storage for bins has been located in the rear service yard where it will be secure and screened from public view.

The character and visual quality of this area is currently incompatible with nursery use. Landscape conditions are necessary to enhance the visual amenities of the rear service yard if it is to be used

as an amenity/play space and to ensure that adequate facilities are provided (including the screening of the bin store).

No objection, subject to the above considerations and conditions COM9 (parts 1, 2, 4 and 5).

Access Officer:

The Applicant is proposing that they will convert one of the parking bays, dedicated for people with disabilities and wheelchair users. This proposal needs reviewing to ensure all backgrounds are catered for. Having reviewed all related documents and photographs, I consider that conditions pertaining to the above Planning Application, has been satisfactorily met.

Highways Officer:

When undertaking assessment of the development, it is noted that the applicant has submitted a Transport Statement and Travel Plan in support of the proposals. However, these are not in accordance with relevant guidance and fail to demonstrate that the proposed car parking provision at the site would be adequate to serve the development.

In addition, it is noted that the site is located along Victoria Road, which is a classified highway and close to the signal controlled junction with Long Drive. Directly adjacent to the site there are Traffic Regulation Orders restricting parking during the daytime. Therefore, any overspill parking along Victoria Road would obstruct the free flow of traffic to the detriment of highway safety.

Furthermore, when considering the parking area at the rear of the site, it is noted that this is not maintained nor does it provide any form of lighting. As a result, it is considered that this area is not suitable for the dropping off/picking up of children or for use by pedestrians and cycles.

Finally, it is noted that the proposed parking provision is outside the boundary of the application site and it is not clear if this parking can be retained for the lifetime of the development or constitutes a loss of parking relating to adjacent uses.

Therefore, an objection is raised as it is considered that the development would be contrary to Policies AM7, AM9, AM14 and R12 of the adopted Hillingdon Local Plan, 2012, (Part 2).

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy S9 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states that in Local Centres the Local Planning Authority will only grant planning permission to change the use from Class A1 shops outside the core areas. Core areas contain the minimum number of shops and range of shops to enable Local Core Areas to function, providing for the needs of people who do not live close to a Town Centre; reducing the need to travel for goods and services. Thus the LPA will resist proposals for the loss of A1 in Core Areas. The site is located within the Core Area of South Ruislip Local Centre therefore no change of use from A1 would be permitted and the principle of the proposed development is thus unacceptable as it would harm the vitality and function of the shopping parade in which it lies, contrary to Policy S9 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

Although the proposed development fails to meet Policies S9 of the Hillingdon Local Plan: Part Two -Saved UDP Policies (November 2012), such applications should be assessed under Policy S6. Policy S6

seeks to safeguard the amenities of shopping areas and permission will only be granted for a change of use of Class A1 Shops on the basis that the proposed development would

not be detrimental to visual amenity; shop frontage design; compatibility and road safety. There are no external alterations proposed to the frontage as part of this application, and therefore the proposal would not affect the visual amenity or the shop front. The use as a 'nursery' would not necessarily be compatible with a shopping parade, however if the development was considered acceptable in principle, conditions could be imposed to mitigate this. However, there would be a detrimental impact on the highway due to the lack of parking provision which would fail to meet the criteria relating to road safety, contrary to Policy S6 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

Policy R11 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), relates to the provision of childcare uses. The Council will permit such uses on the basis that there is no loss of residential units; it would not be prejudicial to highway safety and traffic; parking is in accordance with the Council's standards; and the noise and general activity would not detract from the amenity of nearby residential properties. The proposed development fails to meet the requirements of Policy R11 by failing to provide sufficient parking which would be prejudicial to highway safety and traffic and would therefore not be considered acceptable in principle.

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires all new development to maintain the quality of the built environment including providing high quality urban design. Policies BE13 and BE19 resist any development which would fail to harmonise with the existing streetscene or complement or improve the character of the area.

It is considered that the minor alterations to the rear of the site comprising the removal of a window and installation of a door would not impact on the visual amenities of the streetscene. The proposal is therefore satisfactory in this respect.

7.08 Impact on neighbours

Policy OE1 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states that uses that would become detrimental to the amenity of the adjoining occupiers or surrounding area would not be approved. Policy OE5 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) requires measures to be undertaken to alleviate potential disturbance where a development is acceptable in principle.

The change of use from A1 (Retail) to D1 (Non-residential Institution) is considered not to result in any additional noise and disturbance over the current situation and therefore is considered to comply with Policies OE1 and OE3 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

7.09 Living conditions for future occupiers

Not applicable to this application.

7.10 Traffic impact, car/cycle parking, pedestrian safety

The accompanying Transport Statement and Travel Plan are not in accordance with relevant guidance and fail to demonstrate that the proposed car parking provision at the site would be adequate to serve the development. On the basis that the site could not provide adequate parking, parking would overspill into the surrounding area. This would potentially have a highly detrimental impact on highway safety and the free flow of traffic as Victoria Road is a classified highway; there are parking restrictions adjacent to the site and there is a major signal controlled junction near the site on Long Drive.

Furthermore, the parking area at the rear of the site is not maintained nor does it provide any form of lighting and thus would be considered unsuitable for the dropping off/picking up of children, or for the use by pedestrians and cyclists. This is also discussed within Section 07.11 of this report.

Finally, the proposed parking provision is outside the boundary of the applicant's ownership therefore it is not guaranteed that parking can be retained for the lifetime of the development. In addition, the proposed parking may actually result in a loss of parking for adjacent uses.

Therefore the development would be contrary to Policies AM7, AM9, AM14 and R12 of the adopted Hillingdon Local Plan, 2012, (Part 2).

7.11 Urban design, access and security

It is considered that the existing rear yard would not be suitable location for a nursery play area by virtue of its location at the rear of the site, lack of illumination and lighting, poor surveillance and poor overall environment and quality contrary to Policy BE1 of the Hillingdon Local Plan Part One: Strategic Policies (November 2012). Furthermore, the poor conditions do not create a safe and secure environment for nursery children, their parents or guardians, visitors or members of staff.

7.12 Disabled access

The Access Officer has stated that the access requirements have been satisfactorily met, however it is noted that the introduction of a disabled parking bay would need to be reviewed to ensure that all backgrounds are catered for.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, Landscaping and Ecology

Policy BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

The Tree & Landscaping Officer has stated that the character and visual quality of this area is currently incompatible with nursery use. This is also discussed within Section 07.11 of this report.

However, should the scheme be recommended for approval, it is considered that landscape conditions are necessary to enhance the visual amenities of the rear service yard if it is to be used as an amenity/play space and to ensure that adequate facilities are provided (including the screening of the bin store).

7.15 Sustainable waste management

Policy 5.6 of the London Plan requires development to have regard to and contribute to a reduction in waste produced. This could have been conditioned had the scheme been recommended favourably.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

The petition in support of the application has been noted and is considered within the main report.

7.20 Planning Obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

It is considered that overall the scheme is contrary to the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and the Hillingdon Local Plan: Part Two - Saved UDP

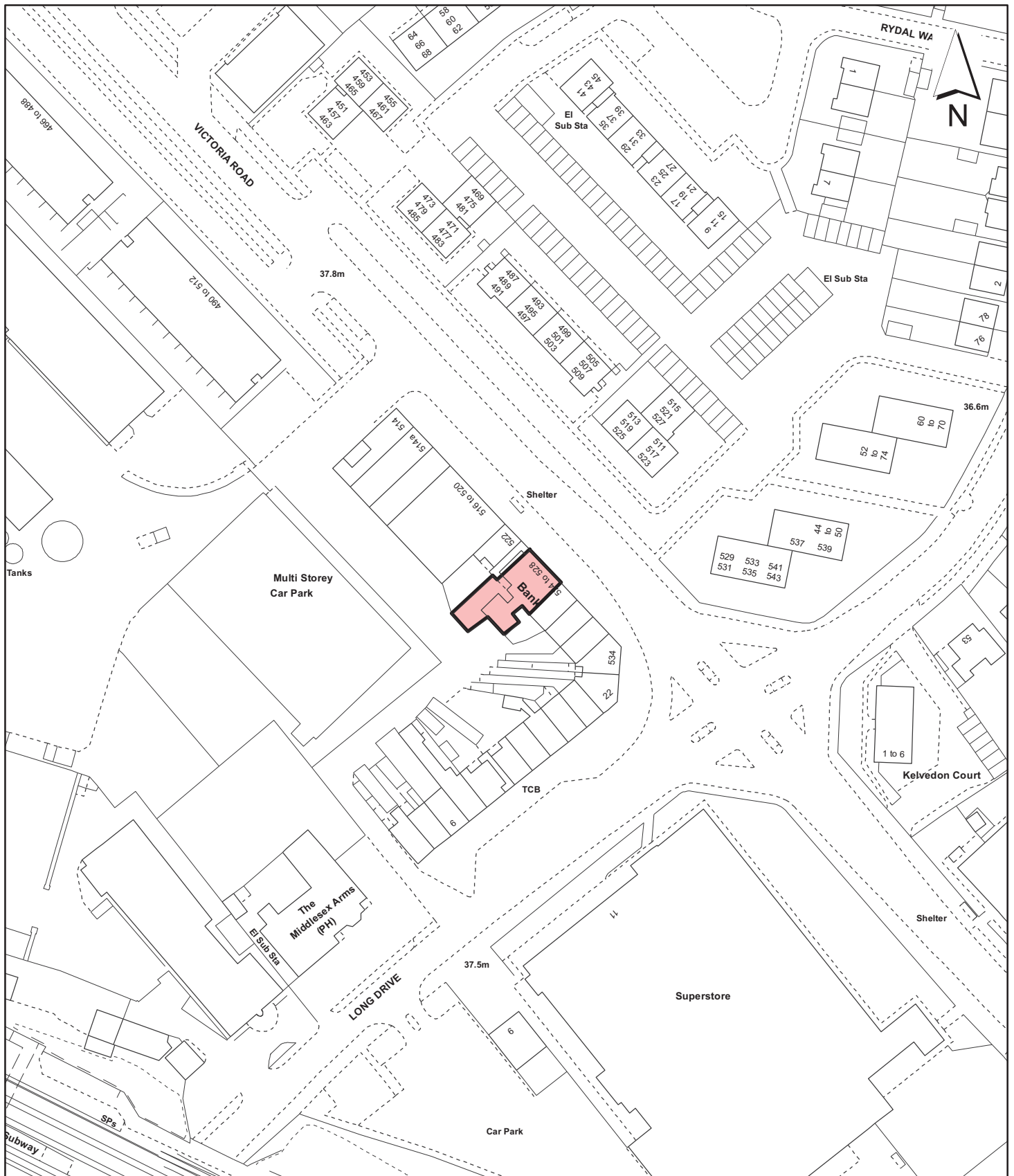
Policies (November 2012). The application is therefore recommended for refusal.



11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)
Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)
The London Plan 2011
Supplementary Planning Document 'Accessible Hillingdon'
National Planning Policy Framework

Contact Officer: Henrietta Ashun

Telephone No: 01895 250230



<p>Notes</p> <p> Site boundary</p> <p>For identification purposes only.</p> <p>This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act). Unless the Act provides a relevant exception to copyright.</p> <p>© Crown copyright and database rights 2013 Ordnance Survey 100019283</p>	<p>Site Address</p> <p align="center">524 - 526 Victoria Road Ruislip</p>		<p>LONDON BOROUGH OF HILLINGDON</p> <p>Residents Services</p> <p>Civic Centre, Uxbridge, Middx. UB8 1UW Telephone No.: Uxbridge 250111</p>
	<p>Planning Application Ref:</p> <p align="center">36666/APP//2013/395</p>	<p>Scale</p> <p align="center">1:1,250</p>	
	<p>Planning Committee</p> <p align="center">North Page 71</p>	<p>Date</p> <p align="center">June 2013</p>	

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Report of the Head of Planning, Sport and Green Spaces

Address GRASS VERGE OPPOSITE RECREATION GROUND MOORHALL ROAD
HAREFIELD

Development: Installation of replacement 11.8m telecommunications mast, together with two new telecommunications cabinets.

LBH Ref Nos: 67032/APP/2013/1294

Drawing Nos: 200 Issue C
201 Issue C
300 Issue C
301 Issue C
General Background Information for Telecommunications Development
ICNIRP Declaration
Supplementary Information
Developer's Notice
Health and Mobile Phone Base Stations
100 Issue C

Date Plans Received: 20/05/2013 **Date(s) of Amendment(s):**

Date Application Valid: 20/05/2013

1. SUMMARY

The applicant seeks prior approval for an upgrade to an existing telecommunication site under Schedule 2, Part 24 of the Town and Country Planning (General Permitted Development) Order 1995) (as amended). The proposed upgrade is required to provide improved 3G and new 4G coverage to the existing Telefonica and Vodafone networks to the South Harefield area.

The proposed scheme involves the removal of an existing 11.8m high telecommunications mast, the installation of a replacement 11.8m telecommunications mast and two new telecommunications cabinets. The existing equipment cabinet is to be retained.

The proposed scheme would not result in a detrimental impact on the character and appearance of the street scene, or on the visual amenity of the adjoining Green Belt and would not cause harm to pedestrian or highway safety. The proposed development complies with Policies AM7, BE13, BE37 and OL5 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) and Chapter 5 of the National Planning Policy Framework (March 2012).

It is therefore recommended that prior approval be required in this instance and that permission is granted.

2. RECOMMENDATION

1 COM3 **Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, 100 Issue C, 200 Issue C, 201 Issue C, 300 Issue C and 301 Issue C and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) and the London Plan (July 2011).

3 NONSC Non Standard Condition

Any apparatus or structure provided in accordance with this permission shall be removed from the land, as soon as reasonably practicable after it is no longer required for electronic communications purposes, and such land, shall be restored to its condition before the development took place, or to any other condition as may be agreed in writing with the Local Planning Authority.

REASON

To ensure that the development is removed as soon as it is no longer required in order to protect the character and appearance of the area in accordance with Policies BE13 and BE37 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT details of siting and design has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT details of siting and design has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM7	Consideration of traffic generated by proposed developments.
BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE37	Telecommunications developments - siting and design
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OL5	Development proposals adjacent to the Green Belt
NPPF5	

3 I15 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control

of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

4 147 Damage to Verge

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on a grass verge adjacent to the public footway on Moorhall Road and comprises an existing 11.8m high telecommunications mast and equipment cabinet. A car park, screened from the road by mature trees (between approximately 10m to 15m high), serves the neighbouring Nature Conservation Area (Denham Quarry) to the south of the site. There is a recreation ground and children's playground on the opposite side of Moorhall Road and the garden of the nearest residential property is just under 30m away to the north east. The site lies immediately adjacent to Green Belt land and a Nature Conservation Site of Metropolitan or Borough Grade I Importance, as designated in the Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012). Another telecommunications site is located 16 metres to the south west of the application site.

3.2 Proposed Scheme

The applicant seeks prior approval for an upgrade to an existing telecommunication site under Schedule 2, Part 24 of the Town and Country Planning (General Permitted Development) Order 1995) (as amended). The proposed upgrade is required in provide improved 3G and new 4G coverage to the existing Telefonica and Vodafone networks to the South Harefield area.

The proposed scheme involves the removal of an existing 11.8m high telecommunications mast, the installation of a replacement 11.8m telecommunications mast, and two new telecommunications cabinets; one Spitfire and one Lancaster. The Spitfire cabinet would be located next to the replacement mast and measure 1.680m wide x 0.380m deep x 1.350m high whilst the Lancaster cabinet would measure 1.896m wide x 0.798m deep x 1.645m high. The existing equipment cabinet is to be retained.

3.3 Relevant Planning History

60622/APP/2005/1267 Opposite Recreation Ground Moorhall Road Harefield

INSTALLATION OF AN 11.7 METRE HIGH MONOPOLE MOBILE PHONE MAST AND EQUIPMENT CABINETS (CONSULTATION UNDER SCHEDULE 2, PART 24 OF THE TOWN AND COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER 1995)(AS AMENDED)

Decision: 21-06-2005 Refused

Appeal: 18-11-2005 Dismissed

60622/APP/2006/1453 Highways Land Opposite Recreation Ground Moorhall Road Harefield

INSTALLATION OF AN 11.7 METRE HIGH MONOPOLE PHONE MAST AND ANCILLARY EQUIPMENT CABINETS (CONSULTATION UNDER SCHEDULE 2, PART 24 OF THE TOWN AND COUNTRY PLANNING (GENERAL PERMITTED DEVELOPMENT) ORDER 1995)(AS AMENDED).

Decision: 27-06-2006 Approved

67032/APP/2010/1845 Grass Verge Opposite Recreation Ground Moorhall Road Harefield

Installation of a 12.5m high mobile telecommunications pole and ancillary equipment cabinet (Consultation under Schedule 2, Part 24 of The Town and Country Planning (General Permitted Development) Order 1995) (as amended.)

Decision: 28-09-2010 PRQ

67032/APP/2010/2380 Grass Verge Opposite Recreation Ground Moorhall Road Harefield

Installation of a 11.8m high mobile telecommunications pole and ancillary equipment cabinet (Consultation under Schedule 2, Part 24 of The Town and Country Planning (General Permitted Development) Order 1995) (as amended.)

Decision: 25-11-2010 PRQ

Appeal: 20-07-2011 Allowed

Comment on Relevant Planning History

* An application for prior approval (ref: 60622/APP/2005/1267) was refused in June 2005 for the installation of a 11.7m high monopole mobile phone mast and equipment cabinets located 16 metres to the south west of the application site. This proposal was subsequently dismissed at appeal (ref: APP/R5510/A/05/1186777) in November 2005, due to the impact of the proposed three equipment cabinets.

* An application for prior approval (ref: 60622/APP/2006/1453) was approved in July 2006 for a 11.7 metre high monopole mobile phone mast and ancillary equipment cabinets located 16 metres to the south west of the application site.

* An application for prior approval (ref: 67032/APP/2010/1845) of a 12.5m high slim line street works monopole mobile phone mast, incorporating six antennas and one ancillary equipment cabinet, was refused in September 2010, due to concerns over its visual impact.

* An application for prior approval (ref: 67032/APP/2010/2380) was refused in November 2010, for a 11.8m high mobile telecommunications pole and ancillary equipment cabinet, due to concerns over its visual impact. This proposal was subsequently allowed at appeal (ref: APP/R5510/A/11/2150945) in July 2011. The Appeal Inspector concluded that the proposal would have an acceptable visual impact on the surrounding area.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.11 To facilitate the development of telecommunications networks in a manner than minimises the environmental and amenity impact of structures and equipment.
- PT1.HE1 (2012) Heritage
- PT1.BE1 (2012) Built Environment

Part 2 Policies:

- AM7 Consideration of traffic generated by proposed developments.
- BE4 New development within or on the fringes of conservation areas
- BE13 New development must harmonise with the existing street scene.
- BE37 Telecommunications developments - siting and design
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- OL5 Development proposals adjacent to the Green Belt
- NPPF5

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **24th June 2013**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Consultation letters were sent to 5 local owner/occupiers and a site notice was posted. No

responses have been received at the time of this report.

Internal Consultees

None

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy BE37 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) states that telecommunications developments will be acceptable in principle provided that any apparatus is sited and designed so as to minimise its effect on the appearance of the surrounding areas.

Although there is another telecommunications site located 16 metres to the south west of the application site, the principle of the use of this site for telecommunications was established in 2011, when the existing 11.8m high mobile telecommunications pole and equipment cabinet was allowed at appeal (ref: APP/R5510/A/11/2150945). It was concluded that the proposed 11.8m high telecommunications pole and ancillary equipment cabinet would have an acceptable visual impact on the surrounding area.

This proposal seeks to replace the existing pole with a new mast of the same height and of a similar appearance, and so there would not be a significant change to the visual appearance of the mast. In relation to the two new cabinets, it is considered that the surrounding vegetation would provide adequate screening to reduce their visual impact on the surrounding area.

It is therefore considered that the proposed 11.8m high replacement pole and antennae, along with the installation of two additional equipment cabinets, is acceptable in principle, in accordance with Policy BE37 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The site does not fall within a Conservation Area or Area of Special Character. There are no listed buildings in the vicinity of the proposed telecommunications equipment. It is not considered that the proposed apparatus would have a direct impact on the character of the Widewater Lock Conservation Area, which is located to the west of the site, in compliance with Policy BE4 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

The application site is located on the grass verge to the south of Moorhall Road. To the south of this is a backcloth of woodland, which is a Site of Importance for Nature Conservation (SINC), situated within an area of designated Green Belt. Pleasant views of the wooded area south of Moorhall Road are relatively uninterrupted. The scheme would replace the existing 11.8m high telecommunications mast with a new mast of the same height in the same location. The two new cabinets would be located in line with the existing equipment cabinet and on the opposite side of the mast.

The existing mast and equipment cabinet has a limited impact on the visual amenity of the adjoining Green Belt due to the existing trees and vegetation which provides some considerable screening of the telecommunications equipment. The existing trees and

vegetation would also provide screening to the two new equipment cabinets and so they would have a limited impact on the adjoining Green Belt.

It is therefore considered that the replacement mast and two new equipment cabinets would not result in a detrimental impact on the visual amenities of the Green Belt, in accordance with Policy OL5 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

7.06 Environmental Impact

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy BE13 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) requires developments to harmonise with the existing street scene and other features of the area that are considered desirable to retain or enhance.

The site is located on a 1.7m wide grass verge adjacent to the public footway on Moorhall Road and already comprises an 11.8m high telecommunication mast with three shrouded antennae and an equipment cabinet. It is considered that a replacement mast of the same height as the existing mast, along with a shroud containing three replacement antennae, although slightly wider at the top, would not have a greater impact on the street scene than the existing.

The two additional equipment cabinets would be located to the south west of the mast and the existing equipment cabinet, and would be in line with the existing cabinet. The cabinets would be coloured green, to match the existing cabinet, and would blend in with the surrounding area, due to their location next to well established vegetation. It is considered that this screening of the proposed cabinets would restrict their visibility, thereby reducing their impact on the street scene.

It is therefore considered that the replacement telecommunications mast and the two equipment cabinets comply with Policy BE13 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

7.08 Impact on neighbours

The nearest residential property to the application site is just over 30m away and the installation would not be directly overlooked. It is not considered that the proposed replacement mast and two equipment cabinets would not have a detrimental impact on residential amenity.

7.09 Living conditions for future occupiers

Not applicable to this application.

7.10 Traffic impact, car/cycle parking, pedestrian safety

Policy AM7 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) will not grant permission to developments that prejudice highway and pedestrian safety. The application site is located on a grass verge adjacent to the public footway on Moorhall Road. The existing telecommunications mast would be removed and replaced with a new telecommunications mast in the same location, whilst the two new equipment cabinets would be located to the south west of the mast and the existing equipment cabinet. The proposed cabinets would not encroach onto the public footway and would not affect pedestrians or impact on highway safety. The proposal therefore complies with Policy AM7 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

7.11 Urban design, access and security

The replacement telecommunications mast would be 11.8m high and would hold three

antennae at the top within a 0.5m diameter shroud. The mast would be constructed from steel and coloured 'Olive Green' to match the existing mast (which is to be removed). The two new equipment cabinets would also be coloured 'Olive Green' to match the existing equipment cabinet. The proposed replacement pole and the two new equipment cabinets are considered to be acceptable in design terms.

7.12 Disabled access

Not applicable to this application.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, Landscaping and Ecology

There are several trees and a thick screen of vegetation located along the rear of the grass verge which provides some screening of the existing telecommunications equipment. The replacement telecommunications mast would be in the same location as the existing mast, and the two new ancillary equipment cabinets would be located in front of two 9.5m high trees.

It is considered that the proposed replacement pole and the additional cabinets would not have a detrimental impact on the existing trees and vegetation along the grass verge. The proposal therefore complies with Policy BE38 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012).

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

No responses have been received during the public consultation at the time of this report.

7.20 Planning Obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

Health:

In terms of potential health concerns, the applicant has confirmed that the proposed installation complies with the ICNIRP (International Commissions for Non Ionising Radiation Protection) guidelines. Accordingly, in terms of Government policy advice, there is not considered to be any direct health impact. Therefore, further detailed technical information about the proposed installation is not considered relevant to the Council's determination of this application.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

None

10. CONCLUSION

The applicant seeks prior approval for an upgrade to an existing telecommunication site under Schedule 2, Part 24 of the Town and Country Planning (General Permitted Development) Order 1995 (as amended). The proposed upgrade is required to provide improved 3G and new 4G coverage to the existing Telefonica and Vodafone networks to the South Harefield area.

The proposed scheme involves the removal of an existing 11.8m high telecommunications mast, the installation of a replacement 11.8m telecommunications mast, and two new telecommunications cabinets; one Spitfire and one Lancaster. The existing equipment cabinet is to be retained.

The proposed scheme would not result in a detrimental impact on the character and appearance of the street scene, or on the visual amenity of the adjoining Green Belt, and would not cause harm to pedestrian or highway safety. The proposed development complies with Policies AM7, BE13, BE37 and OL5 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) and Chapter 5 of the National Planning Policy Framework (March 2012).

It is therefore recommended that prior approval be required in this instance and that permission is granted.

11. Reference Documents

Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012)
Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012)
National Planning Policy Framework (March 2012) Chapter 5

Contact Officer: Katherine Mills

Telephone No: 01895 250230

South Harefield

Chapel
(site of)

Recreation Ground

Musgrave House

MOORHALL ROAD

Moorside
Delside Cott

Shelter

The Site

37.5m

DELSIDE

Harefield Boat Yard

Notes

 Site boundary

For identification purposes only.

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Site Address

**Grass verge opposite
recreation ground, Moorhall
Road, Harefield**

Planning Application Ref:

67032/APP/2013/1294

Planning Committee

North Page 83

Scale

1:1,250

Date

**June
2013**

**LONDON BOROUGH
OF HILLINGDON
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

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Report of the Head of Planning, Sport and Green Spaces

Address OAKHURST, 1 NORTHGATE NORTHWOOD

Development: Two storey, 6-bedroom detached dwelling with basement level with associated parking and amenity space and installation of vehicular crossover to front, involving demolition of existing dwelling

LBH Ref Nos: 30779/APP/2013/539

Drawing Nos: P.04 Rev. D
P.05 Rev. C
P.03 Rev. D
P.09 Rev. A
P.02 Rev. E
E-mail from Natural England, dated 30/1/13
P.11
P.12
P.07 Rev A
P.06 Rev A
P.08 Rev A
P.01 Rev. A
P.10
Tree Protection Plan, September 2010
D 02 04
Tree Constraints Plan, June 2009
Design and Access Statement, March 2013
Arboricultural Survey, dated 29/06/09
Agent's covering e-mail dated 9/4/13
Ecological Assessment Report, April 2012
Building Survey Report on Oakhurst, dated 9/4/10

Date Plans Received:	05/03/2013	Date(s) of Amendment(s):	26/03/2013
Date Application Valid:	13/03/2013		07/03/2013
			05/03/2013

1. SUMMARY

This application seeks permission to demolish Oakhurst, a locally listed building within the Copsewood Estate Area of Special Local Character and erect a replacement 6-bedroom detached facsimile property with a basement.

A previous planning application for an almost identical scheme on this site, together with an application for a new detached house of similar scale, bulk and design at the side of Oakhurst was dismissed at appeal on the 3/2/11 (App. Nos. 30779/APP/2010/1107 and 67012/APP/2010/1107) and a subsequent judicial review upheld the inspector's decision. However, the inspector only rejected the scheme for a replacement house on the grounds that with the sub-division of the curtilage, Oakhurst would only have private amenity space at the rear which would be dominated and shadowed by a protected Oak tree. The usability of this amenity area would be compromised and the living conditions afforded would not be acceptable which in turn, would result in pressure to remove or substantially reduce the protected tree. The inspector did not reject the scheme on the grounds of the loss of the locally listed Oakhurst which was considered to have 'limited significance as a heritage asset'.

A subsequent application for the new house on the adjoining land was submitted and also considered at appeal. That inspector took a different view to the previous inspector, stating that the protected Oak tree would not unduly dominate the garden of Oakhurst and therefore any proposals to fell or reduce the tree could be resisted by the Council and on this basis and allowed the appeal.

Therefore, there are no further grounds to refuse the application and it is recommended for approval.

2. RECOMMENDATION

APPROVAL subject to the following:

1 RES3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 RES4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers P.02 Rev. E, P.03 Rev. D, P.04 Rev. D, P.05 Rev. C, P.09 Rev. A, P.10, P.11 and P.12 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2011).

3 RES6 Levels

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

4 NONSC Non Standard Condition

Prior to the commencement of demolition work, an external and internal photographic survey shall be carried out, submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that a historic record of the locally listed building is produced to promote increased public awareness and interest in the historic environment in accordance with Policy HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012).

5 NONSC Non Standard Condition

The ground floor fireplace in the room at the rear shall be salvaged and re-used in the

new house and the bell panel in the kitchen shall be preserved.

REASON

To ensure that salvageable features in the locally listed building are preserved, in accordance with Policy HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012).

6 RES7 Materials (Submission)

No development or demolition shall take place until details of all materials and external surfaces have been submitted to and approved in writing by the Local Planning Authority. Windows, external doors and the porch shall be detailed to match those of the existing house as detailed on Drw. Nos. P.11 and P.12. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policies BE6 and BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

7 RES9 Landscaping (car parking & refuse/cycle storage)

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping

- 1.a Planting plans (at not less than a scale of 1:100),
- 1.b Written specification of planting and cultivation works to be undertaken,
- 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

- 2.a Means of enclosure/boundary treatments
- 2.b Car Parking Layouts
- 2.c Hard Surfacing Materials
- 2.d External Lighting

3. Other

- 3.a Existing and proposed functional services above and below ground
- 3.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

8 RES10 Tree to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the

Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'.

Remedial work should be carried out to BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

9 RES12 No additional windows or doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

10 RES14 Outbuildings, extensions and roof alterations

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

REASON

To protect the character and appearance of the area and amenity of residential occupiers in accordance with policies BE13, BE21, BE23 and BE24 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

11 RES15 Sustainable Water Management (changed from SUDS)

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of

the London Plan and will:

- i. Provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

REASON

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and London Plan (July 2011) Policy 5.12.

12 RES16 Code for Sustainable Homes

The dwelling(s) shall achieve Level 4 of the Code for Sustainable Homes. No development shall commence until a signed design stage certificate confirming this level has been received. The design stage certificate shall be retained and made available for inspection by the Local Planning Authority on request.

The development must be completed in accordance with the principles of the design stage certificate and the applicant shall ensure that completion stage certificate has been attained prior to occupancy of each dwelling.

REASON

To ensure that the objectives of sustainable development identified in London Plan (July 2011) Policies 5.1 and 5.3.

13 RES18 Lifetime Homes/Wheelchair Units

All residential units within the development hereby approved shall be built in accordance with Lifetime Homes Standards as set out in the Council's Supplementary Planning Document Accessible Hillingdon.

REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (July 2011) Policies 3.1, 3.8 and 7.2

14 NONSC Non Standard Condition

Level and/or graded access shall be provided to and into the dwelling house and shall be retained in perpetuity.

REASON

To ensure adequate access for all, in accordance with Policy 3.8 of the London Plan (July 2011).

RES23

The access for the proposed playing area shall be provided with those parts of 2.4m x 2.4m pedestrian visibility splays which can be accommodated within the site in both directions and shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

REASON

In the interests of highway and pedestrian safety in accordance with policy AM7 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

16 RES24 Secured by Design

The dwelling(s) shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with London Plan (July 2011) Policies 7.1 and 7.3.

17 NONSC Non Standard Condition

Prior to the commencement of the development or any demolition work, a scheme for the protection and enhancement of the ecological value of the site, based upon the recommendations and mitigation measures identified in the Ecological Assessment Report, April 2012, shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include a plan showing how the existing areas of ecological value have been retained and enhanced. Any proposals to remove vegetation must be compensated for on site, or through an offsite contribution. The development must proceed in accordance with the approved scheme.

REASON

To safeguard and enhance the ecological interest of the site, in accordance with Policies EC2 and EC5 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations,

including the London Plan (July 2011) and national guidance.

NPPF1	
NPPF6	
NPPF7	
NPPF10	
NPPF11	
NPPF12	
LPP 3.4	(2011) Optimising housing potential
LPP 3.5	(2011) Quality and design of housing developments
LPP 3.8	(2011) Housing Choice
LPP 5.2	(2011) Minimising Carbon Dioxide Emissions
LPP 5.3	(2011) Sustainable design and construction
LPP 5.7	(2011) Renewable energy
LPP 5.12	(2011) Flood risk management
LPP 5.13	(2011) Sustainable drainage
LPP 5.15	(2011) Water use and supplies
LPP 6.5	(2011) Funding Crossrail and other strategically important transport infrastructure
LPP 6.12	(2011) Road Network Capacity
LPP 6.13	(2011) Parking
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 7.3	(2011) Designing out crime
LPP 7.4	(2011) Local character
LPP 7.6	(2011) Architecture
LPP 7.8	(2011) Heritage assets and archaeology
LPP 7.9	(2011) Heritage-led regeneration
LPP 7.19	(2011) Biodiversity and access to nature
LPP 7.21	(2011) Trees and woodland
BE5	New development within areas of special local character
BE6	New development within Gate Hill Farm and Copsewood Estates areas of special local character
BE8	Planning applications for alteration or extension of listed buildings
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
EC2	Nature conservation considerations and ecological assessments
EC5	Retention of ecological features and creation of new habitats
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM7	Consideration of traffic generated by proposed developments.

AM14	New development and car parking standards.
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
SPG-CS	Community Safety by Design, Supplementary Planning Guidance, adopted July 2004
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

3 I15 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

4 I1 Building to Approved Drawing

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

5 I2 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

6 I5 Party Walls

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

7 16 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

3. CONSIDERATIONS

3.1 Site and Locality

The 0.1 hectare application site lies on the south side of Northgate and is occupied by 'Oakhurst', a timber framed Tudor vernacular style, detached 4-bedroom house which is currently vacant and in a poor state of repair. Oakhurst originally had a very substantial plot, the rear part of the site has now been developed for two large detached houses and it's former side garden is now fenced off, having been previously used as a builders' compound in association with the construction of the two houses. The application site has a 20m wide frontage onto Northgate which has been boarded up with 1.8m high hoarding which wraps around along the eastern boundary adjacent to the gated access to the two houses at the rear. The application site and adjoining land forms part of the Copsewood Estate which is characterised by large detached houses on substantial, typically verdant plots. The site also contains a number of mature trees, including an impressive mature Oak in the middle of the rear garden which is covered by Tree Protection Order (TPO) 173 (T29).

3.2 Proposed Scheme

This application to erect a replacement facsimile 5 bedroom detached house, involving the demolition of the existing house. The house would replicate the siting, scale and design of the existing property, incorporating an integral single garage, but would include a new basement level with a sixth staff bedroom and rear lightwell. The house would be 17.6m wide and have a maximum depth of 10.4m, with a main eaves height of 5.3m and ridge height of 7.7m. At its nearest point, the house would be set back from the road by 15m, matching the siting of the existing house.

The house would mimic the scale, proportion and design of the existing house. It would have a double ridged roof running parallel to the road, with a front and a rear gable within the roof and a projecting two storey gabled bay at the front which incorporates the garage and also wraps around at the side to form a cat slide side element on part of the western side elevation of the house. The house would be timber framed to matching the detail of the existing. Revised plans have been received on the advice of the Council's Conservation/Urban Design Officer so that the timber frame detail better reflects that of the original property. The main external differences now would be the relatively minor alterations to the size and siting of some of the doors and windows and the roof gables which tend to lean on the original as viewed from the side so that they overhang more at

the ridge have been straightened.

Internally, the layout of the house mimics that of the original, with 5 bedrooms being provided on the first floor, although the layout has been altered and positions of some of the rooms altered. Within the basement, a games and TV room would be provided, together with a staff bedroom with en-suite and laundry room with kitchenette. The lightwells at the rear would be some 1.6m deep and sited on each side of the building, retaining access to the rear garden from the French doors sited towards the middle of the building which would serve the ground floor kitchen/breakfast room and lounge. The light wells would be surrounded by 1.4m high balustrading.

A number of reports have been submitted in support of this application:

Design and Access Statement, March 2013:

This describes the site and the planning history. A summary of relevant development plan policy is provided and the proposal is described. The statement then provides an assessment of the proposals against a series of headings, including principle of demolition, use and amount of development, layout, landscaping, scale and appearance. Access and other matters are discussed, before the report concludes that the proposed development is of a high standard that is appropriate to the area and complies with relevant planning policy.

Arboricultural Survey, dated 29/06/09

This provides tree information on the larger Oakhurst site.

Ecological Assessment Report, April 2012

This report provides a non-technical summary and provides an introduction to the study, advising that this repeat survey undertaken in April 2012 updates previous surveys undertaken in February 2010. The methodology is described, including a desk study, Phase 1 Survey and as the surveys in 2010 indicated the presence of bats and badgers, repeat surveys for these species were undertaken. Results are presented and recommendations and mitigation for particular species presented. The report concludes that protected species activity on site has reduced since the last surveys in 2010 and original recommendations have been amended, due to additional flexibility. Providing mitigation measures are adopted, ecological impacts of development will be reduced to a minimum.

Building Survey, April 2010:

This describes the results of a building survey, undertaken in April 2010.

3.3 Relevant Planning History

Comment on Relevant Planning History

A number of planning applications have been submitted in the past for the residential redevelopment of this and adjoining sites which once formed part of the original curtilage of Oakhurst, one of which has been implemented. Of particular relevance to this application is the most recent planning history on this and the adjoining part of the original side garden which has now been divided by a fence.

Following planning approvals to extend Oakhurst and erect two detached houses at the

rear (30779/ APP/2007/3799 and 30779/APP/2009/2036), subsequently an application to erect a replacement dwelling on this site (30779/APP/2010/1108) was dismissed at appeal on 3/2/11. Although at the North Planning Committee on 16/09/10, Members considered that the application should be refused on 6 grounds, namely (i) the loss of Oakhurst without all options being considered for its repair and renovation; (ii) the provision of a large basement with large windows and lightwells being incongruous within the Copsewood Estate Area of Special Local Character; (iii) inadequate retained rear amenity space due to overshadowing by protected trees; (iv) pressure due to overshadowing to remove or substantially reduce a protected Oak (T29); (v) lack of information regarding impact of development upon protected species and (vi) lack of measures to minimise carbon dioxide emissions, the appeal inspector only dismissed the appeal due to the lack of usable amenity space due to overshadowing by trees and the threat this situation posed to the protected Oak tree (T29).

At the same time, an application was submitted to erect a new house at the side of Oakhurst (ref. 67012/APP/2010/1107). This was also dismissed within the inspector's letter dated 3/2/11 on similar grounds with the inspector stating that the proposed new house would leave Oakhurst with a much reduced garden area that would be overshadowed and therefore likely to lead to the indirect loss of the protected Oak tree T29. The decision was judicially reviewed, but the inspector's decision was upheld.

Of critical importance is a further application for a new house on the side of Oakhurst (67012/APP/2011/2712). In considering the appeal for non-determination, the inspector took a different view from her predecessor and allowed the appeal.

Oakhurst was locally listed in May 2010.

Approval has also been granted on 24/5/13 to fell an Oak tree which is in decline (T28 on TPO 173) at the side of Oakhurst (67012/TRE/2013/17).

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- | | |
|---------|--|
| PT1.HE1 | (2012) Heritage |
| PT1.BE1 | (2012) Built Environment |
| PT1.EM1 | (2012) Climate Change Adaptation and Mitigation |
| PT1.EM6 | (2012) Flood Risk Management |
| PT1.EM7 | (2012) Biodiversity and Geological Conservation |
| PT1.EM8 | (2012) Land, Water, Air and Noise |
| PT1.C11 | (2012) Community Infrastructure Provision |
| PT1.39 | To seek where appropriate planning obligations to achieve benefits to the community related to the scale and type of development proposed. |

Part 2 Policies:

NPPF1

NPPF6

NPPF7

NPPF10

NPPF11

NPPF12

- LPP 3.4 (2011) Optimising housing potential
- LPP 3.5 (2011) Quality and design of housing developments
- LPP 3.8 (2011) Housing Choice
- LPP 5.2 (2011) Minimising Carbon Dioxide Emissions
- LPP 5.3 (2011) Sustainable design and construction
- LPP 5.7 (2011) Renewable energy
- LPP 5.12 (2011) Flood risk management
- LPP 5.13 (2011) Sustainable drainage
- LPP 5.15 (2011) Water use and supplies
- LPP 6.5 (2011) Funding Crossrail and other strategically important transport infrastructure
- LPP 6.12 (2011) Road Network Capacity
- LPP 6.13 (2011) Parking
- LPP 7.1 (2011) Building London's neighbourhoods and communities
- LPP 7.2 (2011) An inclusive environment
- LPP 7.3 (2011) Designing out crime
- LPP 7.4 (2011) Local character
- LPP 7.6 (2011) Architecture
- LPP 7.8 (2011) Heritage assets and archaeology
- LPP 7.9 (2011) Heritage-led regeneration
- LPP 7.19 (2011) Biodiversity and access to nature
- LPP 7.21 (2011) Trees and woodland
- BE5 New development within areas of special local character
- BE6 New development within Gate Hill Farm and Copsewood Estates areas of special local character
- BE8 Planning applications for alteration or extension of listed buildings
- BE13 New development must harmonise with the existing street scene.
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE22 Residential extensions/buildings of two or more storeys.
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting

	and landscaping in development proposals.
EC2	Nature conservation considerations and ecological assessments
EC5	Retention of ecological features and creation of new habitats
R17	Use of planning obligations to supplement the provision of recreation, leisure and community facilities
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
SPG-CS	Community Safety by Design, Supplementary Planning Guidance, adopted July 2004
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

4 neighbouring properties have been consulted and a notice has been displayed on the frontage of the site. 1 response has been received, making the following comments:

Strongly against the demolition of this beautiful historic building. It is quite frankly criminal that this could ever be torn down. It should be restored to its former glory. I don't understand how this application is being considered if it is a listed building with protected wildlife. These rules are in place to protect our history, yet developers always find a way around it. No doubt it will be damaged beyond repair in an "accidental fire" just like the True Lovers Knot Public House.

RUISLIP, NORTHWOOD AND EASTCOTE LOCAL HISTORY SOCIETY:

We oppose the demolition of this locally listed building which is an excellent example of Tudor vernacular style. It contributes to the ambience of the Copsewood Estate an Area of Special Local Character. Despite the structural problems it should be restored and retained rather than being replaced with a new build. Local listing should at least offer protection from demolition. Please consider these comments even though the closing date has gone.

NORTHWOOD RESIDENTS' ASSOCIATION:

The Northwood Residents' Association requests the Council to take due care of any possible effect of the proposed basement on the water table.

Internal Consultees

URBAN DESIGN/CONSERVATION OFFICER:

Background: The current proposal has now been amended to show elevations of the same

proportions and design as the existing building. Whilst it is not proposed to keep the door or porch, drawings have been submitted which commit the applicant to making copies of the existing.

The previous appeal decisions have left a way open to the applicant to redevelop this house in facsimile, and, although officers, councillors and residents are strongly opposed to the loss of this house, which is such a landmark in the area, it seems that no further planning objection can be sustained.

However, the application should be conditioned to the effect that:

1. A photographic survey, external and internal, should be carried out and submitted to the Local Planning Authority prior to demolition.
2. Windows, external doors and porch shall be detailed to match those of the existing house.
3. The ground floor fireplace in the room at the rear shall be salvaged and re-used in the new house, and the bell panel saved.
4. All permitted development rights shall be removed from the new development
5. All materials for the new house should be checked personally on site with the Conservation Officer, before demolition takes place.

Recommendation: Acceptable

TREE/LANDSCAPE OFFICER:

Original Plans:

Tree Preservation Order (TPO)/ Conservation Area: This site is covered by TPO 173.

Significant trees/other vegetation of merit in terms of Saved Policy BE38: The trees on-site and the area of woodland beyond comprise a large-scale and prominent landscape feature which significantly contribute to the amenity and wooded character of the Copsewood Estate Area of Special Local Character.

The supporting tree protection details provide an adequate level of protection, however details of levels and services should also be provided; this matter can be dealt with by condition.

Scope for new planting: Landscaping plans should be submitted; this matter can be dealt with by condition.

Conclusion (in terms of Saved Policy BE38): Acceptable, subject to conditions RES 8; RES 9 (1, 2 & 6); and RES 10.

HIGHWAY ENGINEER:

No objections on highway grounds subject to a standard pedestrian visibility splay condition.

SUSTAINABILITY OFFICER:

Given that previous ecological matters have been discussed on the neighbouring site the following condition would be sufficient. In particular, protected species are known to use the supporting vegetation in the area. It was agreed that this would remain as part of the neighbouring application. It now cannot be lost as part of this application.

Prior to the commencement of a development a scheme for the protection and enhancement of the ecological value of the site shall be submitted and approved in writing by the Local Planning

Authority. The scheme shall include a plan showing how the existing areas of ecological value have been retained and enhanced. Any proposals to remove vegetation must be compensated for on site, or through an offsite contribution. The development must proceed in accordance with the approved scheme.

The new house must meet Code for Sustainable Homes level 4.

ACCESS OFFICER:

The proposal seeks to demolish the existing house and erect a replacement dwelling. The Design and Access Statement does not discuss accessible housing principles and the plans indicate that the internal layout would not be compatible with the Lifetime Homes Standards.

In assessing this application, reference has been made to London Plan July 2011, Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document 'Accessible Hillingdon' adopted January 2010. Compliance with all 16 Lifetime Home standards (as relevant) should be shown on plan.

The following access observations are provided:

1. Level access should be achieved. Entry to the proposed dwelling appears to be stepped, which would be contrary to the above policy requirement. Details of level access to and into the proposed dwelling should be submitted. A fall of 1:60 in the areas local to the principal entrance should be incorporated to prevent rain and surface water ingress. In addition to a levels plan showing internal and external levels, a section drawing of the level access threshold substructure, and water bar to be installed, including any necessary drainage, should be submitted.
2. The scheme does not include provision of a downstairs WC, compliant with the Lifetime Home requirements. To this end, a minimum of 700mm should be provided to one side of the toilet pan, with 1100mm in front to any obstruction opposite.
3. A minimum of one bathrooms/ensuite facility should be designed in accordance with Lifetime Home standards. At least 700mm should be provided to one side of the WC, with 1100mm provided between the front edge of the toilet pan and a door or wall opposite.
4. To allow bathrooms to be used as wet rooms in future, plans should indicate floor gulley drainage.
5. The plans should indicate the location of a future 'through the ceiling' wheelchair lift.

Conclusion: to secure the above provisions, it would be acceptable to attach a suitable planning Condition to any grant of planning permission. An additional Condition, as set out below, should be attached to any planning permission:

Additional Condition

Level or ramped access shall be provided to and into the dwelling houses, designed in accordance with technical measurements and tolerances specified by Part M to the Building Regulations 2000 (2004 edition), and shall be retained in perpetuity.

REASON: to ensure adequate access for all, in accordance with London Plan policy 3.8, is achieved and maintained, and to ensure an appropriate standard of accessibility in accordance with the Building Regulations.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The proposal is for a replacement dwelling on this residential plot within an established residential area. As such, there are no objections in principle to the proposal, subject to normal development control criteria.

7.02 Density of the proposed development

As the proposal is for a replacement house, this is not relevant to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Oakhurst is a building which dates back to the early 1920's and is of considerable local character. With its partner, Tudor House adjacent, it makes a significant contribution to the street scene of Northgate and the Copse Wood Estate Area of Special Local Character.

Although English Heritage (EH) have investigated the building for possible statutory listing, this was rejected. The importance of the character of the building has been recognised by it being included on the Council's local list in May 2010.

The loss of Oakhurst was considered in some detail by the previous Inspector in his decision letter dated 3/2/11. At paragraphs 31 and 32, the Inspector states:

'From the evidence that is available to me, particularly the EH report, I consider that Oakhurst has limited historic interest. I concur with the EH report which describes it simply as a 'well surviving early twentieth century house in vernacular style.

In terms of architectural interest, I believe that this is also limited. I again rely upon the EH report which describes elements of the Tudor vernacular as being routine and imitative, materials being used functionally and in a standard form, the cement render being out of place aesthetically, and the detail of the interior being a standard imitation of historical style and form. That said, and although the building is in poor condition, I consider that it is not unattractive and that it does make a positive contribution to the street-scene and to the CEASC. However, after carrying out my site visit, I consider that the same can be said for other houses in the area, many of which are more modern than Oakhurst. I appreciate that Oakhurst is much liked by the local community but I nevertheless consider that the house has limited significance as a heritage asset.'

The Inspector at Para. 33 concludes on this issue:

'Although the proposal would result in the loss of Oakhurst as a heritage asset, that asset has limited significance and the proposed new house would make a positive contribution to the character and appearance of the area. I therefore conclude that the loss of Oakhurst should not prevent the scheme from receiving planning permission. In this respect, the proposal would not be contrary to guidance given in PPS5.'

Since March 2012, PPS5 has been replaced by the National Planning Policy Framework. However, guidance as regards conserving the historic environment has not particularly been made any more onerous, with Paragraph 135 of the NPPF stating:

'The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that affect directly or indirectly non designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.'

Given the previous Inspector's consideration that Oakhurst had limited significance as a heritage asset, it could not now be argued that the NPPF attaches greater weight to conserving such buildings.

As regards the current proposal, this scheme is for a very similar facsimile replacement house which would make as much of a positive contribution towards the character and appearance of the area as the almost identical building considered by the previous Inspector. Revised plans have also been submitted, in response to discussions with officers which are considered to more greatly reflect the detailing of the building. Detailed plans have also been submitted of the porch and front door design. The building has also been inspected by officers, with a view to assessing whether any features could be salvaged.

On this basis, the Council's Urban Design/Conservation Officer advises that no further planning objection can be sustained, although any approval should be conditioned to ensure that an external and internal photographic survey of the existing house should be made, external features should match the existing house, a ground floor fireplace should be salvaged and re-used and a bell panel saved, permitted development rights should be removed and all materials for the new house should be checked personally on site with the Conservation Officer, before demolition takes place.

It is therefore considered that the loss of the locally listed building and the impact upon the character and appearance of the Copsewood Estate Area of Special Local Character is acceptable in terms of the NPPF (March 2012) and Policies BE5, BE6 and BE8 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

7.04 Airport safeguarding

No airport safeguarding issues are raised by this application.

7.05 Impact on the green belt

The application site does not form part nor is it sited close to the Green Belt so that no Green Belt issues are raised by this application.

7.06 Environmental Impact

This is dealt with in Section 7.14 below.

7.07 Impact on the character & appearance of the area

The impact of a very similar proposal for a new replacement house was considered by the previous appeal inspector (30779/APP/2010/1107), which included a basement level with rear light wells.

The inspector considered that the house which would be timber framed and mimic the existing house in terms of scale, proportion and design would contribute positively to the character and appearance of the Copsewood Estate Area of Special Local Character.

Specifically as regards the basement and light wells, the Inspector stated at Paragraph 28:

28. With regard to the scheme before me, I consider that there would be limited underground engineering works and the only external features would be steps and balustrading. These would not be visible from public viewpoints having regard to their location and the significant tree cover around the site. I therefore consider that the light wells would not appear as alien features within the CEASC. I conclude that the basement for the proposal would not result in material harm to the character and appearance of the area and that in this respect, it would not be contrary to Policies BE5, BE13 and BE19 of

the UDP.'

Given this previous assessment, it is considered that no objections can be raised to the current almost identical scheme in terms of the character and appearance of the area.

7.08 Impact on neighbours

As the proposed building would largely replace the existing building with one of a similar siting, scale, design and siting of windows, with the principal difference between the two being the installation of a basement, there would be no additional adverse impact upon the amenities of adjoining residents as compared to the current situation. As such, the proposal would comply with Policies BE20, BE21 and BE24 of the adopted Hillingdon Local Plan Saved Policies (November 2012).

7.09 Living conditions for future occupiers

The London Plan (July 2011), within Table 3.3 establishes minimum floor space standards for types of residential property. A three storey, 4 bedroom, 6 person house would require a minimum floor area of 113sqm. The proposed house, excluding the integral garage and basement would have an internal floor area of 244sqm. which increases to over 350sqm if the basement is included. This would satisfy the Mayor's guidance. Furthermore, it is considered that all the habitable room windows, including a basement staff bedroom window, which would be served by a rear light well would have adequate outlook and natural lighting.

The proposed house would also have a rear garden area in excess of 500m² which greatly exceeds the minimum 100m² advocated by paragraph 4.15 of the above guidance. However, although the Inspector on the appeal on the previous application (30779/APP/2010/1108) considered that the space would be dominated and shadowed by trees so that it would not be sufficiently usable, the inspector on the later application for a new house on the adjoining site (67012/APP/2011/2712) made the specific following comments relating to the reduced size of rear garden at Oakhurst at paragraphs 15, 16, 17 and 18 of their decision letter dated 14/11/12:

'15. The rear garden to Oakhurst has a southern aspect, is relatively generous in size, and would continue to provide an appropriate setting for Oakhurst. A number of trees on the appeal site and within the curtilage of Oakhurst are protected by a Tree Preservation Order, including an oak tree (T29) situated within the retained rear garden of Oakhurst. This tree occupies a broadly central position within the garden, Its crown has been lifted to a height above the roof of the dwelling providing the rear garden with an open, spacious, suburban character.

16. At the time of my visit, on a sunny day, the tree cast a dappled shade on the ground. Due to the open nature of the crown and its height above ground, much of the garden was in sunlight. Although this tree is a prominent feature within the garden, most of the garden is laid to lawn, and it is not unduly dominated by trees and shrubs. There is adequate useable amenity space for the usual recreational activities associated with the family occupation of a large dwelling, I believe that many people would consider the tree to be an attractive feature that adds to the character of the garden.

17. The relationship between the tree and the dwelling at Oakhurst would be unchanged by the proposal, in that the principal rooms of the dwelling would continue to face towards tree T29. In addition, the oak tree (T28 on the TPO) on the boundary with the appeal site is in decline, and it is proposed to fell it. This would further open up the rear garden of Oakhurst. I am satisfied that Oakhurst retains an adequate useable rear garden.

18. The previous inspector considered that 'the tree would result in a significant level of overshadowing of the amenity area, particularly that which is closest to the house during the months when the tree is in leaf.' At the time of my visit the tree was in leaf and I was able to observe the open nature of its canopy, which is noticeably less dense by comparison with many other oak trees. Moreover, at the time of the previous appeal, the fence between the appeal site and Oakhurst was not positioned on the boundary line, and I am told that there was an extensive area of dense vegetation close to the rear elevation of the dwelling. As a consequence, the garden to Oakhurst would have appeared smaller in size. For these reasons, I have reached a different conclusion from the previous inspector with regard to the ability of the retained garden to Oakhurst to provide adequate useable amenity space.'

Given this appeal decision, no further objections can be sustained as to the adequacy of the retained rear garden at Oakhurst in terms of Policy BE23 of the Hillingdon Local Plan.

7.10 Traffic impact, car/cycle parking, pedestrian safety

No objections were previously raised by the LPA or the previous inspector in considering this aspect of the previous proposal. Although the integral garage, with an internal width of 2.6m would be less than the 3.0m width required by guidance, the proposal would provide adequate off-street parking on the hardstanding for two cars which would be served from the access at the side of the site. The Council's Highway Engineer raises no objections to the proposal, subject to a condition requiring pedestrian visibility splays. As such, the scheme complies with Policy AM14 of the adopted Unitary Hillingdon Unitary Development Plan Saved Policies (September 2007).

7.11 Urban design, access and security

This is dealt with at Sections 7.01, 7.03 and 7.09 above.

7.12 Disabled access

The Council's Access Officer has inspected the plans and advised that compliance with Lifetime homes standards could be achieved by means of a suitably worded condition. An additional condition would also be needed to ensure access to the property. These are recommended.

7.13 Provision of affordable & special needs housing

This is not relevant to this application.

7.14 Trees, Landscaping and Ecology

Policy BE38 of the Hillingdon Local Plan, Saved Policies advises that new development should retain topographical and landscape features of merit and that new planting and landscaping should be provided when necessary.

The inspector in dealing with the previous schemes for a replacement dwelling on this site and a new house of similar design on the adjoining site (30779/APP/2010/1108 and 67012/APP/2010/1107 refer respectively) noted that the protected Oak tree T29 was a large and impressive tree that made an important contribution to the verdant character and appearance of the area. It was considered that the subdivision of the plot would result in indirect pressure to remove or substantially reduce this tree which the LPA would find difficult to resist.

However, the inspector in considering the most recent application for a new house at the side of Oakhurst (67012/APP/2011/2712) reached a different view. In paragraph 20, the inspector states:-

'I have found that tree T29 [in paragraphs 15 to 19 on their decision letter - see Section 7.09] would not unduly dominate the garden to Oakhurst, and therefore I am satisfied that

the Council would be able to resist proposals to fell or substantially reduce it. Therefore the proposal would not harm the character and appearance of the surrounding area or the Copsewood Estate Area of Special Character.'

On this basis, the Council's Tree and Landscape Officer does not raise any further objection to the scheme and advises that the scheme is acceptable, subject to conditions.

As regards protected species, the previous inspectors raised no particular issues based upon the information presented to them at the time. This application is supported by an Ecological Assessment Report, undertaken in April 2012. This advises that surveys undertaken in 2010 indicated the presence of bats and badgers on the larger Oakhurst site. The site was re-surveyed in April 2012 and this did not identify any setts and the two previously recorded badger setts no longer exist. As regards bats, the previous survey report in 2010 did record fresh pipistrelle droppings in the loft of Oakhurst but only one old dropping was found in April 2012. The report states that the age and number of droppings indicate a night roost used on a very transient basis in the past and it is now unlikely to be considered a roost under current legislation. The report does advise that the removal of the roof should be undertaken under the supervision of a suitably qualified ecologist. The report also advises that the site contains habitat suitable to support a range of breeding birds, so that works likely to affect them should be undertaken outside of the breeding season. Habitat is also well connected to the wider landscape and suitable for dormouse but the lack of species records in the area makes their presence unlikely and habitat is suitable for common species of reptiles such as slow worm. The report recommends various mitigation measures for the various species.

The Council's Sustainability Officer advises that ecological matters have been discussed on the neighbouring site previously. In particular, the officer advises that protected species are known to use the supporting vegetation in the area and it was agreed that this would remain as part of the neighbouring application so that it now cannot be lost as part of this application and a condition is recommended to safeguard the ecological interest of the site.

7.15 Sustainable waste management

This application is for a replacement house within its own curtilage. As such, there is no requirement for specific provision for the storage of waste and recycling to be identified on the plans.

7.16 Renewable energy / Sustainability

A condition is attached to ensure that Code 4 of Sustainable Homes standards would be achieved.

7.17 Flooding or Drainage Issues

A sustainable drainage condition has been attached.

7.18 Noise or Air Quality Issues

This scheme for a replacement house raises no implications for noise or air quality.

7.19 Comments on Public Consultations

The issue raised in the individual response to the public consultation is dealt with in the main report.

7.20 Planning Obligations

As the proposed scheme would not breach the threshold of a net increase of 6 habitable rooms, there would be no requirement for a S106 contribution to make provision for education provision in accordance with Policy R17 of the adopted Hillingdon Local Plan: Saved UDP Policies (November 2012).

7.21 Expediency of enforcement action

No enforcement issues are raised by this site.

7.22 Other Issues

There are no other issues raised by this application.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

10. CONCLUSION

Previous inspector's decisions on this and the adjoining site suggest that a further objection to the demolition of Oakhurst and the principle of this development could not be sustained at appeal.

Although the loss of Oakhurst is regrettable and the replacement house, being new build would have no intrinsic historic interest, it would faithfully mimic the siting, scale and design of Oakhurst, and subject to appropriate materials being used which has been conditioned, it would make a positive contribution to the character and appearance of the Copsewood Area of Special Local Character. It is recommended for approval on this basis.

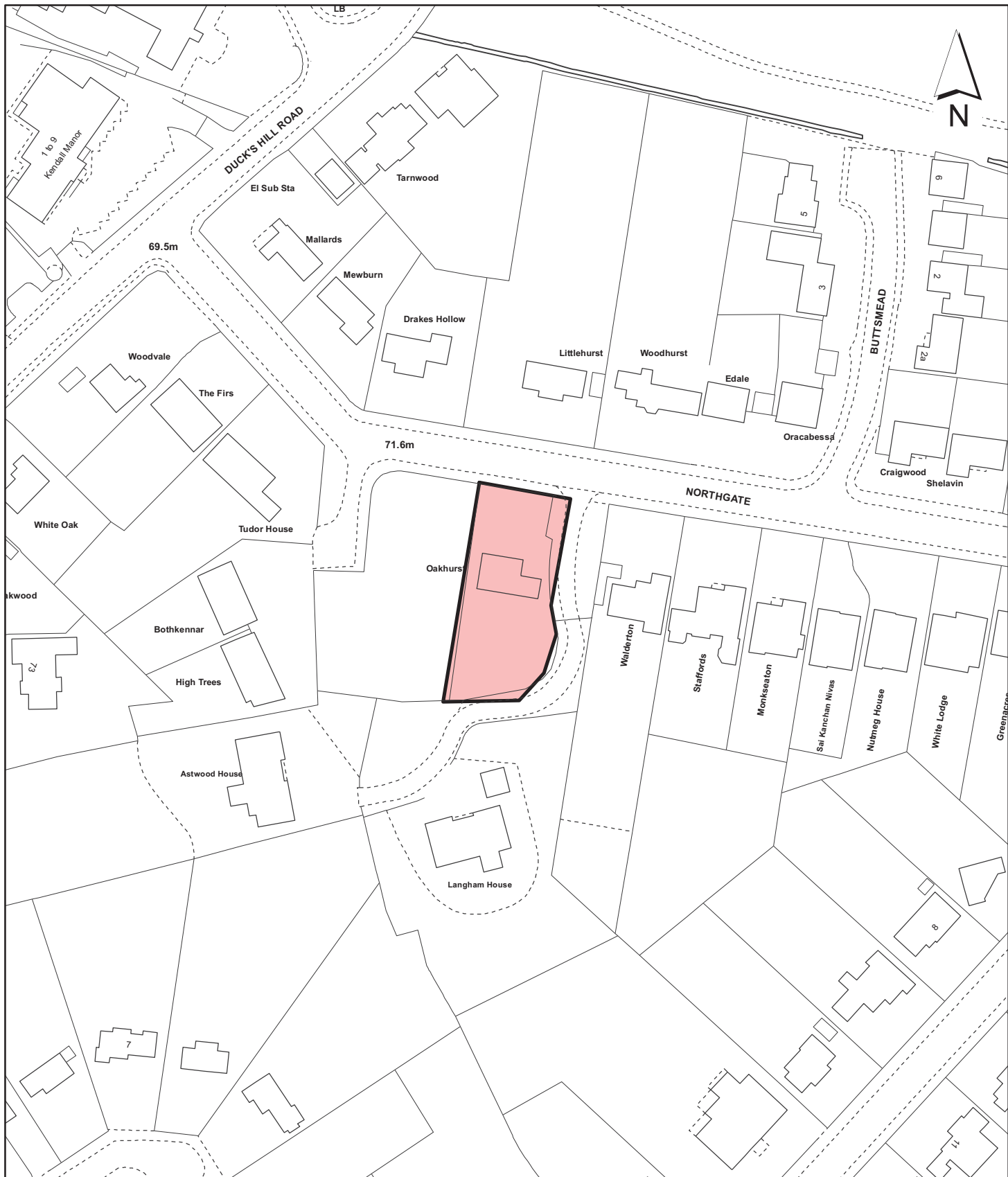
11. Reference Documents

National Planning Policy Framework (March 2012)

London Plan (July 2011)
Hillingdon Local Plan: Parts 1 and 2 (November 2012)
Council's Planning Obligations Supplementary Planning Document, July 2008
HDAS: Residential Layouts
HDAS: Accessible Hillingdon
Planning history on this and adjoining sites, in particular inspectors' decision letters dated
3/2/11 and 14/11/12
Consultation Responses

Contact Officer: Richard Phillips

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**Oakhurst
1 Northgate
Northwood**

**LONDON BOROUGH
OF HILLINGDON
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:
30779/APP/2013/539

Scale
1:1,250

Planning Committee
North Page 107

Date
**June
2013**



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Report of the Head of Planning, Sport and Green Spaces

Address LYNDA JACKSON CENTRE RICKMANSWORTH ROAD NORTHWOOD

Development: Single storey extension to Lynda Jackson Macmillan Centre

LBH Ref Nos: 3807/APP/2013/1177

Drawing Nos: AT1971-PL-03
AT1971-PL-01
AT1971-PL-04
AT1971-PL-02
AT1971-GA-Loc

Date Plans Received: 08/05/2013

Date(s) of Amendment(s):

Date Application Valid: 10/05/2013

1. SUMMARY

The application seeks planning permission for the erection of a single storey front extension on the Lynda Jackson Centre at Mount Vernon Hospital, which is situated in the Green Belt.

The development is the same as the one approved at North Planning Committee on 30th August 2012 under application reference 3807/APP/2012/1563. However, this previous application was submitted by the East & North Hertfordshire NHS Trust who identified themselves as the landowner. Subsequent to this approval they have discovered this to be incorrect and the previous permission is not valid. The applicant has now notified the Hillingdon Hospitals NHS Foundation Trust, the correct landowner, of the current application and signed certificate B on the application form.

The extension would have an L-shaped design to ensure that visibility splays for cars using the adjacent bend are retained. The roof design would reflect the lean to roof design of the existing building and the materials have been selected to match the existing property.

The proposed single storey extension is to an existing building within the enclosed hospital campus. The size and design of the extension is considered to have an acceptable impact on the Green Belt and on the visual amenities of the surrounding area. Therefore, the application is recommended for approval.

2. RECOMMENDATION

APPROVAL subject to the following:

1 COM3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers AT1971-PL-03 and AT1971-PL-04 and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan (November 2012) and the London Plan (July 2011).

3 HH-M2 External surfaces to match existing building

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Local Plan (November 2012).

4 COM9 Landscaping (including refuse/cycle storage)

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping

1.a Planting plans (at not less than a scale of 1:100),

1.b Written specification of planting and cultivation works to be undertaken,

1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

2. Details of Hard Landscaping

2.a Hard Surfacing Materials

2.b External Lighting

3. Details of Landscape Maintenance

3.a Landscape Maintenance Schedule for a minimum period of 5 years.

3.b Proposals for the replacement of any tree, shrub, or area of surfacing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

4. Schedule for Implementation

5. Other

5.a Existing and proposed functional services above and below ground

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13 & BE38 of the Hillingdon Local Plan (November 2012).

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan (November 2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM7	Consideration of traffic generated by proposed developments.
AM8	Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes
AM13	AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): - (i) Dial-a-ride and mobility bus services (ii) Shopmobility schemes (iii) Convenient parking spaces (iv) Design of road, footway, parking and pedestrian and street furniture schemes
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL4	Green Belt - replacement or extension of buildings
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
LPP 7.2	(2011) An inclusive environment
LPP 7.6	(2011) Architecture
LPP 7.16	(2011) Green Belt

3 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies.

On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of

State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

4 147 **Damage to Verge**

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

5 11 **Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

6 115 **Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

7 12 **Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

8 13 Building Regulations - Demolition and Building Works

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

9 16 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

3. CONSIDERATIONS

3.1 Site and Locality

The application relates to a single storey semi-detached building in use as the Lynda Jackson Macmillan Centre, which provides support for individuals affected by cancer.

The building is set on the western side of the campus and to the south of the vehicle carriageway which runs through the hospital site and connects with White Hill to the west and Rickmansworth Road to the east. The application property is surrounded by other hospital buildings of varying heights, designs and materials.

The frontage of the building containing the entrance doorway faces north. The ground level of the building is below that of the adjacent road, with steps from the footway provided down to the entrance doorway. The building is bordered to the east and south by open courtyard areas, with the vehicle carrigeway wrapping in front of the northern and southern elevations of the property. The external walls of the L-shaped building are covered in green wooden cladding with the roof structure consisting of lean to roof facing to the north and a pitched roof section facing to east.

The site is situated within the Green Belt as identified in the policies of the Adopted Hillingdon Unitary Local Plan (November 2012).

3.2 Proposed Scheme

The application seeks planning permission for the erection of a single storey front extension on the building to provide three new offices and a disability lift within the building.

The development is the same as the one approved at North Planning Committee on 30th August 2012 under application reference 3807/APP/2012/1563. However, this previous application was submitted by the East & North Hertfordshire NHS Trust who identified themselves as the landowner. Subsequent to this approval they have discovered this to be incorrect and the previous permission is not valid. The applicant has now notified the

Hillingdon Hospitals NHS Foundation Trust, the correct landowner, of the current application and signed certificate B on the application form.

The proposed extension would have an L-shaped design with a section of the extension recessed, to retain visibility splays around the bend in the vehicle carriageway. The extension would have a maximum forward protrusion of 5.3 metres and would span the width of the building. The design would include vertical artificial slates on the northern side elevation to match the western elevation of the property and a lean to roof, which would create a valley section between the existing building and the proposed extension. On the eastern elevation, the existing roof structure would be extended forward by 1.15 metres and a new entrance porch would be created on the northern elevation of the extension.

The ground upon which the extension would be erected, is required to be built up in order to provide a flat floor level within the extension and level access into the new entrance. A small internal staircase would provide access from the extension to the ground level of the existing building, with a disability lift also provided.

3.3 Relevant Planning History

3807/APP/2012/1563 Lynda Jackson Centre Rickmansworth Road Northwood
Single storey extension

Decision: 30-08-2012 Approved

Comment on Relevant Planning History

The application building and wider hospital campus has been the subject of many applications over the years. However, these applications are not considered to impact on the determination of the current application.

4. Planning Policies and Standards

No additional Planning Policies and Standard for consideration since the previous approval.

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains

Part 2 Policies:

AM7 Consideration of traffic generated by proposed developments.

AM8 Priority consideration to pedestrians in the design and implementation of road construction and traffic management schemes

AM13 AM13 Increasing the ease of movement for frail and elderly people and people with disabilities in development schemes through (where appropriate): -
(i) Dial-a-ride and mobility bus services
(ii) Shopmobility schemes
(iii) Convenient parking spaces
(iv) Design of road, footway, parking and pedestrian and street furniture schemes

AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL4	Green Belt - replacement or extension of buildings
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
LPP 7.2	(2011) An inclusive environment
LPP 7.6	(2011) Architecture
LPP 7.16	(2011) Green Belt

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

The Northwood Residents Association was notified of the application on 14th May 2013 and a site notice erected on 20th May 2013. No responses received.

Internal Consultees

None.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The proposed development is for a small extension to a building within the Mount Vernon Hospital campus, which is located within the Green Belt and is not identified as a Major Developed Site in Policy OL1 of adopted Hillingdon Local Plan (November 2012). The National Planning Policy Framework states that the essential characteristics of Green Belts are their openness and their permanence. Therefore, the construction of new buildings in the Green Belt is inappropriate unless it is for, amongst other things, the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building.

The proposed development would increase the footprint of the building by 23.6% from 287 square metres to 355 square metres. Given the backdrop of the property against a number of other buildings within an enclosed site, an increase in the footprint of the building by 23.6% would be proportionate and in accordance with Policy OL4 of the Hillingdon Local Plan, Policy 7.16 of the London Plan (July 2011) and the National

Planning Policy Framework and acceptable in principle within the Green Belt.

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

The proposed development is for a small extension to a building within the Mount Vernon Hospital campus, which is not identified as a Major Developed Site in Policy OL1 of adopted Hillingdon Local Plan (November 2012).

Paragraph 89 of the National Planning Policy Framework states that extensions to buildings in the Green Belt are to be considered appropriate, provided they do not result in disproportionate additions over and above the size of the original building.

The proposed development would increase the footprint of the building by 23.6% from 287 square metres to 355 square metres. Given the backdrop of the property against a number of other buildings within an enclosed site, an increase in the footprint of the building by 23.6% would be proportionate and in accordance with Policy OL4 of the Hillingdon Local Plan (November 2012), Policy 7.16 of the London Plan (July 2011) and the National Planning Policy Framework and acceptable within the Green Belt.

7.07 Impact on the character & appearance of the area

The proposed development would create a valley between the lean to roofs of the proposed extension and the existing building. Whilst the addition of a further roof would create abnormal roof design, which would be prominent from the footway, the existing building is already incongruent to the neighbouring properties. Therefore, the harm caused by the proposal to the visual amenities of the surrounding area would not be so great as to warrant a refusal of the application. The materials proposed for the vertical northern elevation of the extension would match the materials and appearance of the western elevation of the existing building, ensuring the development would have an acceptable impact on the appearance of the existing building.

The ground level of the site would be required to be built up by between 0.5-0.9 metres in order to create a flat ground level within the extension. The change in ground level is considered to have an acceptable impact on the visual amenities of the surrounding area and, therefore, the proposal is considered to comply with Policies BE13, BE15 and BE19 of the Hillingdon Local Plan (November 2012) and Policy 7.6 of the London Plan (July 2011).

7.08 Impact on neighbours

The application building is located on an enclosed site and surrounding by other hospital buildings. Therefore, the single storey front extension is not considered to cause harm to the amenity of any neighbouring occupier, in compliance with Policies BE20, BE21 and BE24 of the Hillingdon Local Plan (November 2012).

7.09 Living conditions for future occupiers

Not applicable to this application.

7.10 Traffic impact, car/cycle parking, pedestrian safety

The proposed extension has been designed to retain the visibility splays for cars turning the corner in front of the principal elevation of the building, ensuring the development would cause no significant harm to highway safety. The proposal would retain the existing

footway with a level access created into the building, ensuring the development would not prejudice pedestrian safety. The increase in the internal footprint of the building would provide offices for use by current staff and is considered not to significantly increase the intensity of use of the building. Therefore, the development is considered not to place an unacceptable burden on the 1,090 spaces at the hospital and the site is considered to have sufficient off-street parking to accommodate the modest increase in the internal floor area of the building. Therefore, the development is in compliance with Policies AM7, AM8 and AM14 of the Hillingdon Local Plan (November 2013).

7.11 Urban design, access and security

The proposed development would result in a loss of open space between the building and the footway, with a distance separation of between 2.6 metres and 1 metre being retained. This would allow for landscaping between the building and the highway, softening the appearance of the building. Therefore, the development is considered to comply with Policies BE13, BE19 and BE38 of the Hillingdon Local Plan (November 2012).

7.12 Disabled access

The proposed development would create a level entrance into the building with the provision of a disability lift to allow wheelchair users to access the original building, which would be on a lower floor level. Therefore, the building is considered accessible by all in compliance with Policy 7.2 of the London Plan (July 2011) and the Council's Supplementary Planning Document Accessible Hillingdon.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, Landscaping and Ecology

The applicant has provided no details of the landscaping to be provided between the northern elevation and the footway. However, with a condition requiring landscaping plans to be provided, the development is considered to comply with Policy BE38 of the Hillingdon Local Plan (November 2012).

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

None.

7.20 Planning Obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

The development is the same as the one approved at North Planning Committee on 30th August 2012 under application reference 3807/APP/2012/1563. However, this previous application was submitted by the East & North Hertfordshire NHS Trust who identified themselves as the landowner. Subsequent to this approval they have discovered this to be incorrect and the previous permission is not valid. The applicant has now notified the Hillingdon Hospitals NHS Foundation Trust, the correct landowner, of the current

application and signed certificate B on the application form.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

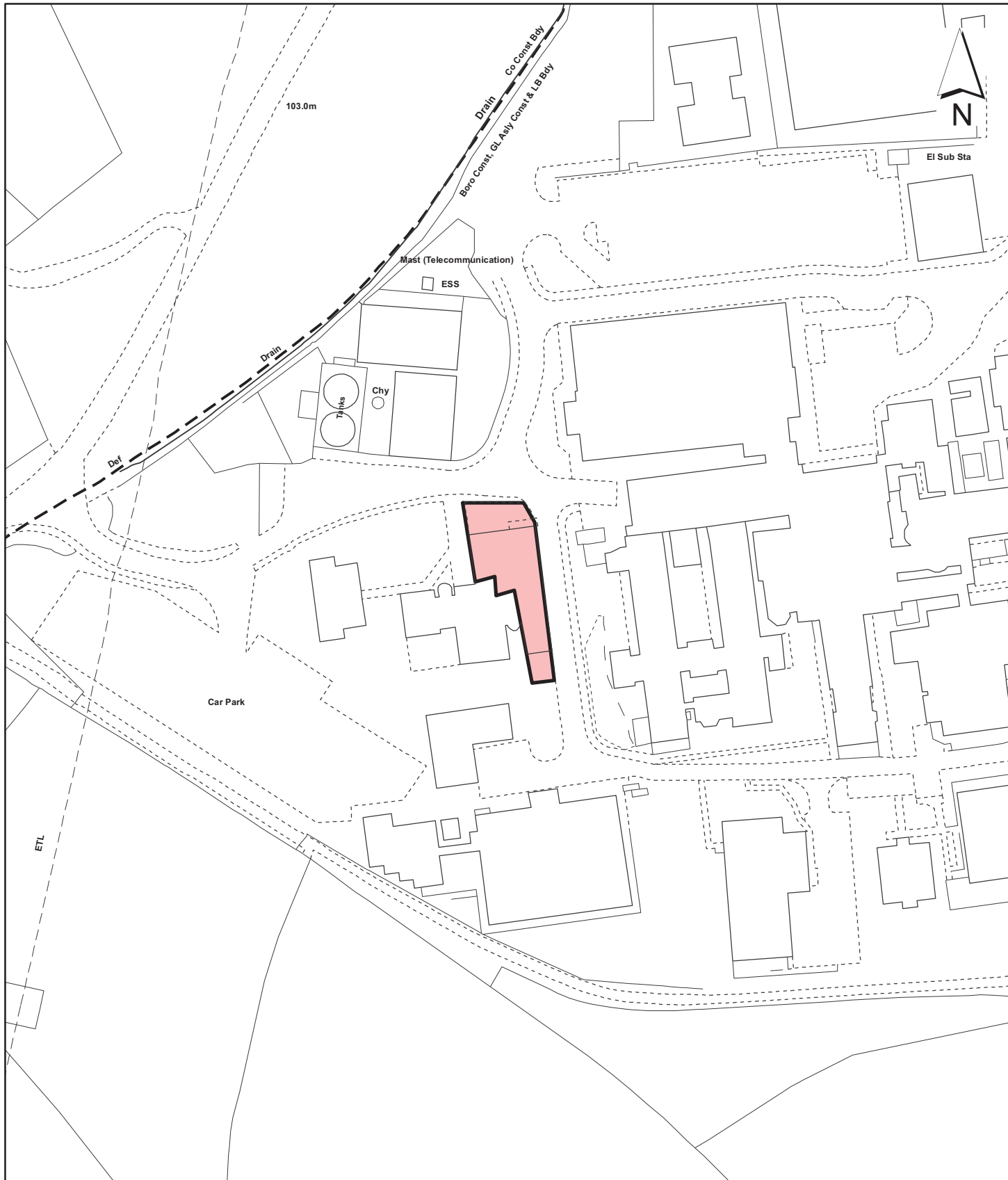
The proposed development is a single storey extension to an existing building within the enclosed hospital campus. The size and design of the extension is considered to have an acceptable impact on the Green Belt and on the visual amenities of the surrounding area, whilst retaining sufficient visibility splays for cars using the adjacent bend in the road. Therefore, the application is recommended for approval.

11. Reference Documents

Hillingdon Local Plan (November 2012);
The London Plan (July 2011);
National Planning Policy Framework;
Hillingdon Design and Accessibility Statement: Accessible Hillingdon (January 2010).

Contact Officer: Alex Smith

Telephone No: 01895 250230



Notes

 Site boundary

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Site Address

**Lynda Jackson Centre
Rickmansworth Road
Northwood**

**LONDON BOROUGH
OF HILLINGDON
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

3807/APP/2013/1177

Scale

1:1,250

Planning Committee

North Page 119

Date

**June
2013**



HILLINGDON
LONDON

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Plans for North Planning Committee

25th June 2013



HILLINGDON
LONDON



INVESTOR IN PEOPLE

Report of the Head of Planning, Sport and Green Spaces

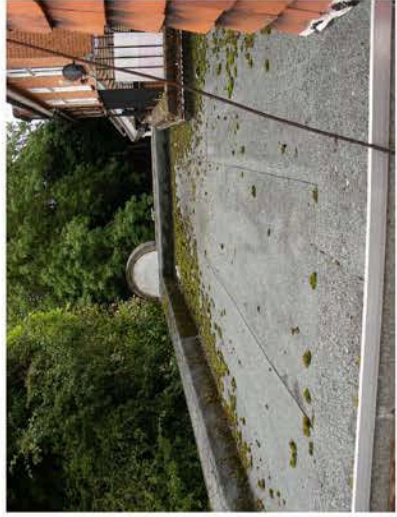
Address 24 EASTBURY ROAD NORTHWOOD

Development: Application for a material amendment to Planning Permission ref. 19305/APP/2011/1584 for the installation of proposed amenity/balcony area for the approved first floor flat.

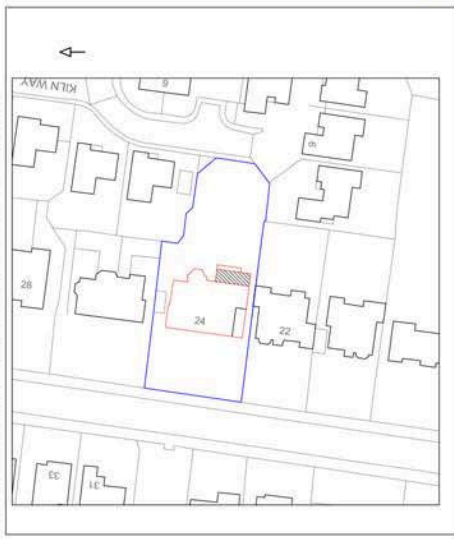
LBH Ref Nos: 19305/APP/2012/3107

Date Plans Received: 14/12/2012 **Date(s) of Amendment(s):** 14/12/2012

Date Application Valid: 09/01/2013



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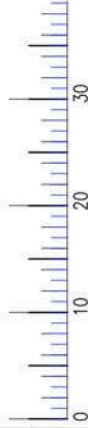


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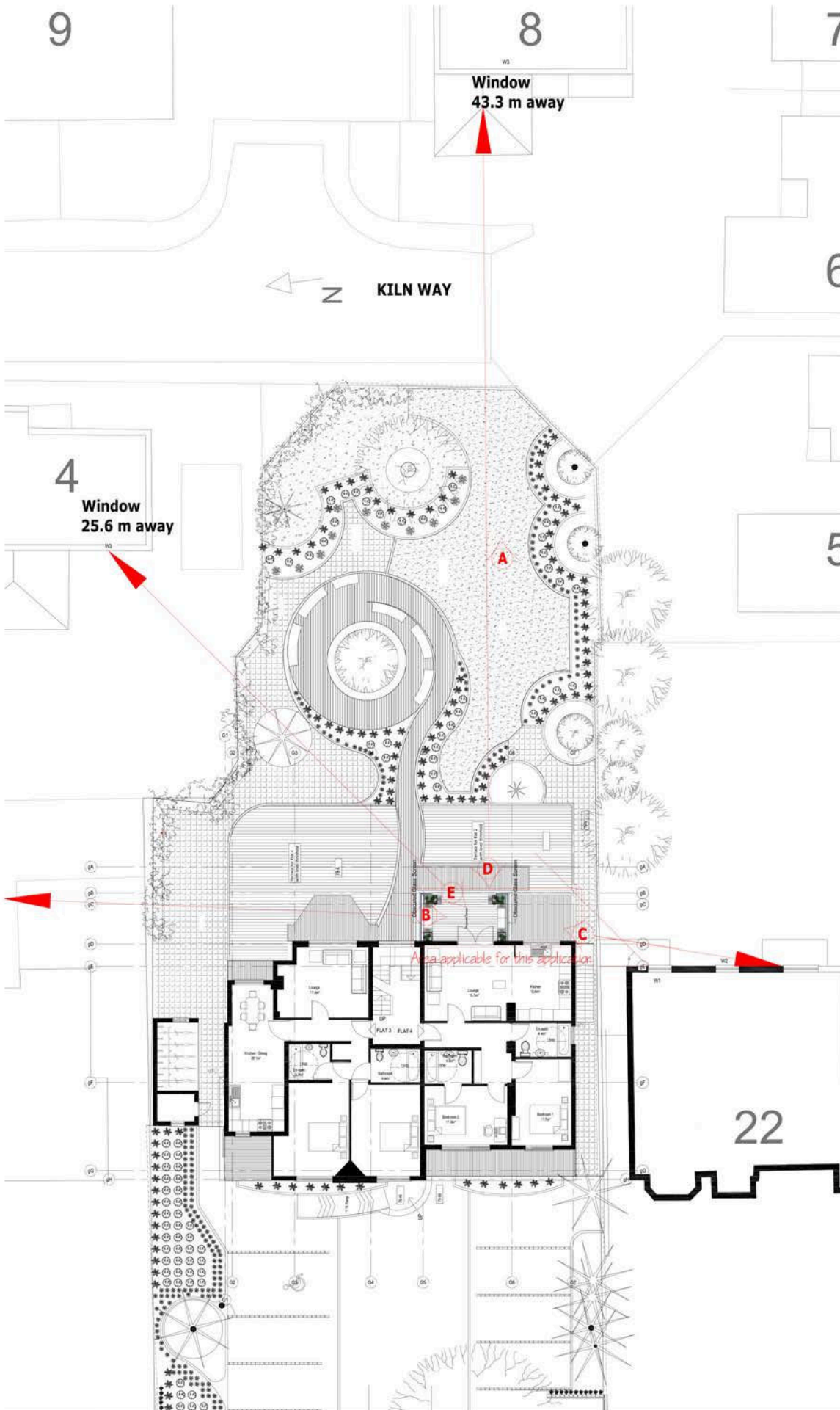


Scale 1:500

Area applicable for this application



<p>JETVIEW PROPERTIES LIMITED</p> <p>ARGYLE HOUSE 3RD FLOOR NORTHSIDE, JOEL STREET, NORTHWOOD HILLS, MIDDLESEX, HA6 1NW</p> <p>TEL: 01923834290 FAX: 01923825122 info@jvpdesignbuild.com EMAIL: info@jvpdesignbuild.com</p>		<p>NOTES</p> <p>1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL DWGS</p>		<p>PROJECT</p> <p>PROPOSED AMENITY AREA FOR APPROVED FLAT NO 4 Planning application no19305/APP/2011/1584 24 EASTBURY ROAD, NORTHWOOD HA6 3AL</p>		<p>DRAWING TITLE</p> <p>Block Plan & Site Plan</p>	
<p>REVISION</p>		<p>DATE</p>		<p>SCALE</p> <p>1:1250; 1:500</p>		<p>STATUS</p> <p>PL</p>	
<p>DESCRIPTION</p>		<p>CLIENT</p>		<p>DATE</p> <p>03/12/12</p>		<p>DRAWN</p> <p>SML</p>	
<p>DATE</p>		<p>MOB:</p>		<p>JOB NO.</p> <p>BT-12-033</p>		<p>REVISION</p>	
<p>DESCRIPTION</p>		<p>TEL:</p>		<p>DWG NO.</p> <p>PL-01</p>		<p>REVISION</p>	
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View E



View D



View C



View B



View A

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NORTHWOOD HILLS, MIDDLESEX, HA6 1NW

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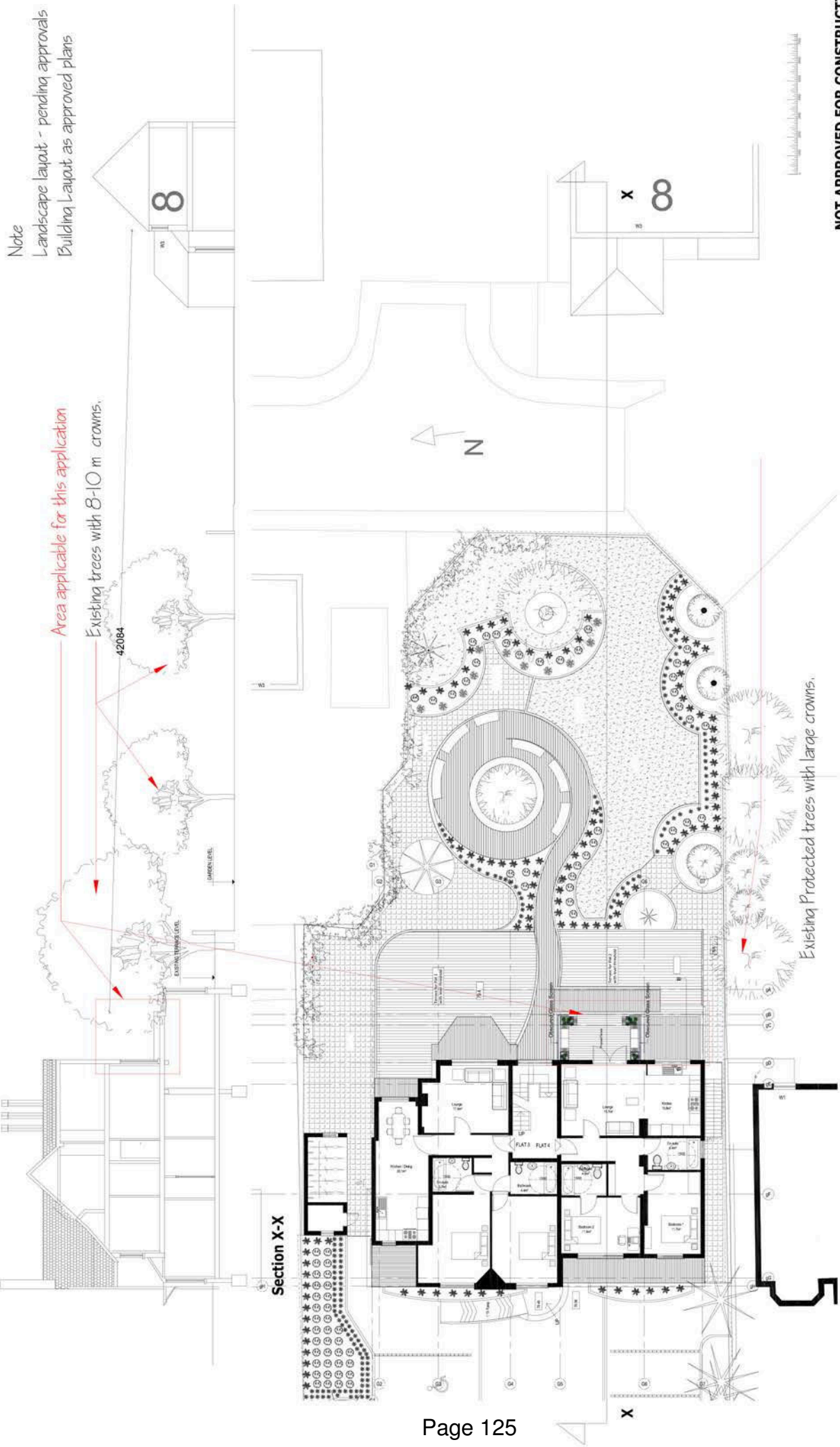
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C	Obscured Glass Screen and terrace area revised	01/04/13	PROPOSED AMENITY AREA FOR APPROVED FLAT NO 4 Planning application no19305/APP/2011/1584 24 EASTBURY ROAD, NORTHWOOD HA6 3AL

CLIENT

Page 124

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DRAWING TITLE			
Approved Plan with Proposed Terrace & views			
SCALE	1:50	@A3	
DATE	03/12/12	STATUS	PL
JOB.NO.	BT-12-033	DRAWN	SML
DWG.NO.	PL-02	REVISION	C



Note

Landscape layout - pending approvals
Building Layout as approved plans

Area applicable for this application

Existing trees with 8-10 m crowns.

42084

Section X-X

N

Existing Protected trees with large crowns.

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JETVIEW PROPERTIES LIMITED	NOTES 1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL DWGS		REVISION C	DESCRIPTION Obscured Glass Screen and terrace area revised	DATE 01/04/13	PROJECT PROPOSED AMENITY AREA FOR APPROVED FLAT NO 4 Planning application no19305/APP/2011/1584 24 EASTBURY ROAD, NORTHWOOD HA6 3AL	DRAWING TITLE Approved Plans & Section		
	ARGYLE HOUSE 3RD FLOOR NORTHSIDE, JOEL STREET, NORTHWOOD HILLS, MIDDLESEX, HA6 1NW	TEL: 01923834290	FAX: 01923825122	EMAIL: info@jvpdesignbuild.com	SCALE: 1:50	STATUS: PL	DATE: 03/12/12	JOB NO: BT-12-033	DRAWN: SML

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TEL: 01923834290 FAX: 01923825122 EMAIL: info@jvpdesignbuild.com

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DATE: 03/12/12 STATUS: PL

JOB NO: BT-12-033 DRAWN: SML

DWG NO: PL-03 REVISION: C

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Proposed Rear Elevation



Approved Rear Elevation

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NORTHWOOD HILLS, MIDDLESEX, HA6 1NW

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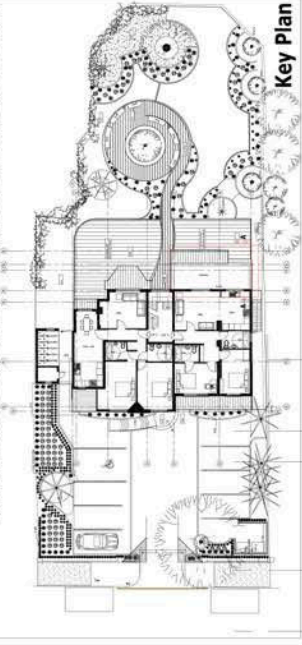
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C	Obscured Glass Screen and terrace area revised	01/04/13	PROPOSED AMENITY AREA FOR APPROVED FLAT NO 4 Planning application no19305/APP/2011/1584 24 EASTBURY ROAD, NORTHWOOD HA6 3AL
D	Railing on terrace amended	22/05/13	
			CLIENT
			TEL: MOB: EMAIL:

NOT APPROVED FOR CONSTRUCTION

DRAWING TITLE			
Approved & Proposed Elevations			
SCALE	1:100	@A3	
DATE	03/12/12	STATUS	PL
JOB.NO.	BT-12-033	DRAWN	SML
DWG.NO.	PL-04	REVISION	D

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Key Plan

1800mm high Screen
Obscured Glass Screen beyond parapet
25mm Dia steel rail embedded to 300mm brick work at a height of 1100mm

Note
The external screening wall to the south of the living space balcony terrace prevents any potential overlooking situations and creates privacy for the building occupants as well as their neighbors.



Side Elevation



Section BB

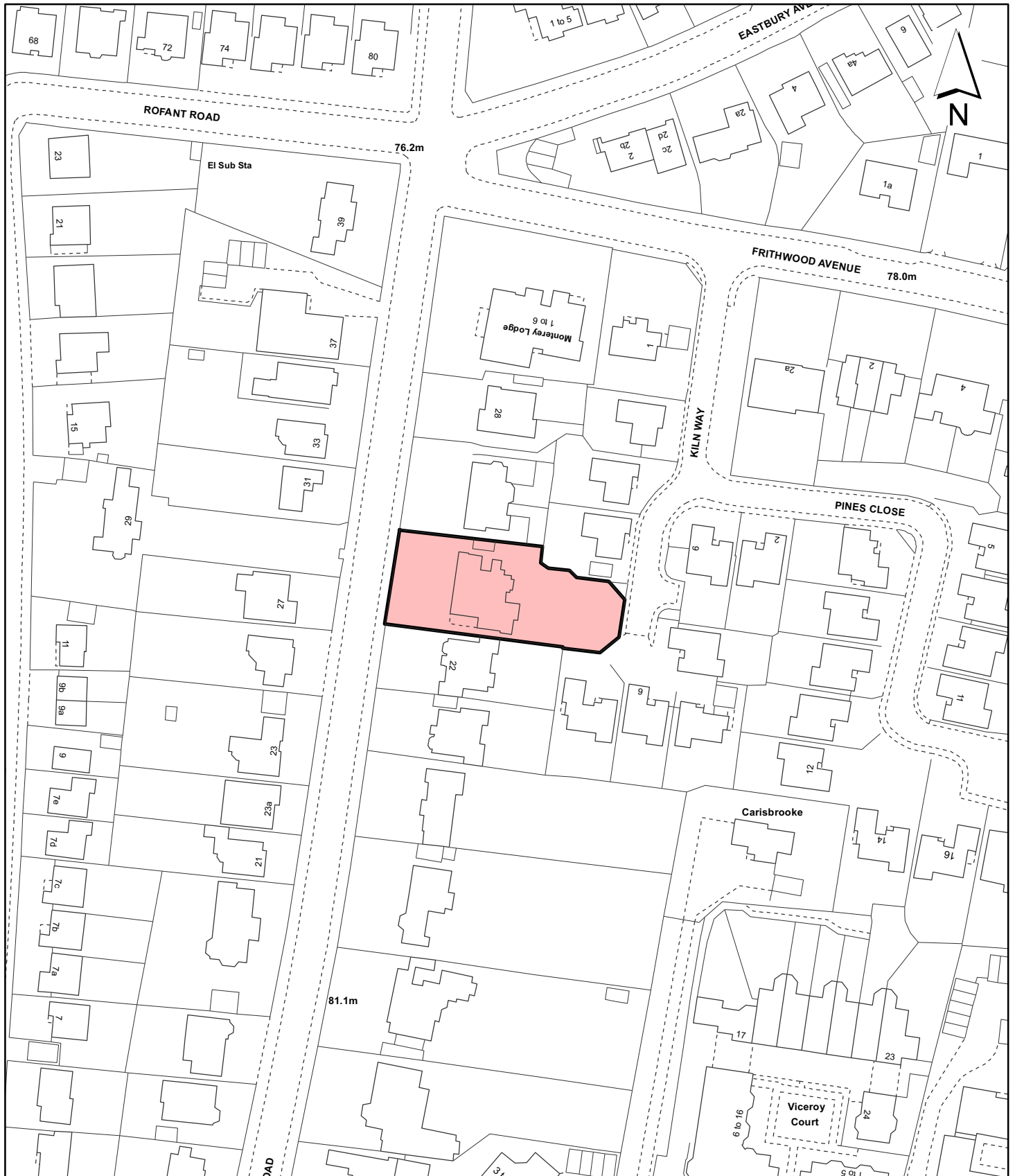
1800mm Obscured Glass Screen beyond parapet wall and flat roof




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<p>TEL: 01923834290 FAX: 01923825122</p>		<p>EMAIL: info@jvpdesignbuild.com</p>		<p>CLIENT 24 EASTBURY ROAD, NORTHWOOD HA6 3AL</p>		<p>SCALE 1:100, 1:50 @A3</p>		<p>STATUS PL</p>		<p>REVISION C</p>	
<p>TEL: 01923834290</p>		<p>EMAIL: info@jvpdesignbuild.com</p>		<p>MOB: [blank]</p>		<p>DATE 03/12/12</p>		<p>DRAWN SML</p>		<p>REVISION C</p>	
<p>FAX: 01923825122</p>		<p>EMAIL: info@jvpdesignbuild.com</p>		<p>TEL: [blank]</p>		<p>JOB NO. BT-12-033</p>		<p>DRAWN SML</p>		<p>REVISION C</p>	

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Site Address

**24 Eastbury Road
Northwood**

Planning Application Ref:

19305/APP/2012/3107

Planning Committee

North Page 128

Scale

1:1,250

Date

**May
2013**

**LONDON BOROUGH
OF HILLINGDON
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning, Sport and Green Spaces

Address WALDERTON NORTHGATE NORTHWOOD

Development: Two storey, 6- bed, detached dwelling with habitable roofspace and associate parking and amenity space, involving demolition of existing dwelling (Resubmission)

LBH Ref Nos: 47749/APP/2013/153

Date Plans Received: 22/01/2013

Date(s) of Amendment(s):

Date Application Valid: 22/01/2013



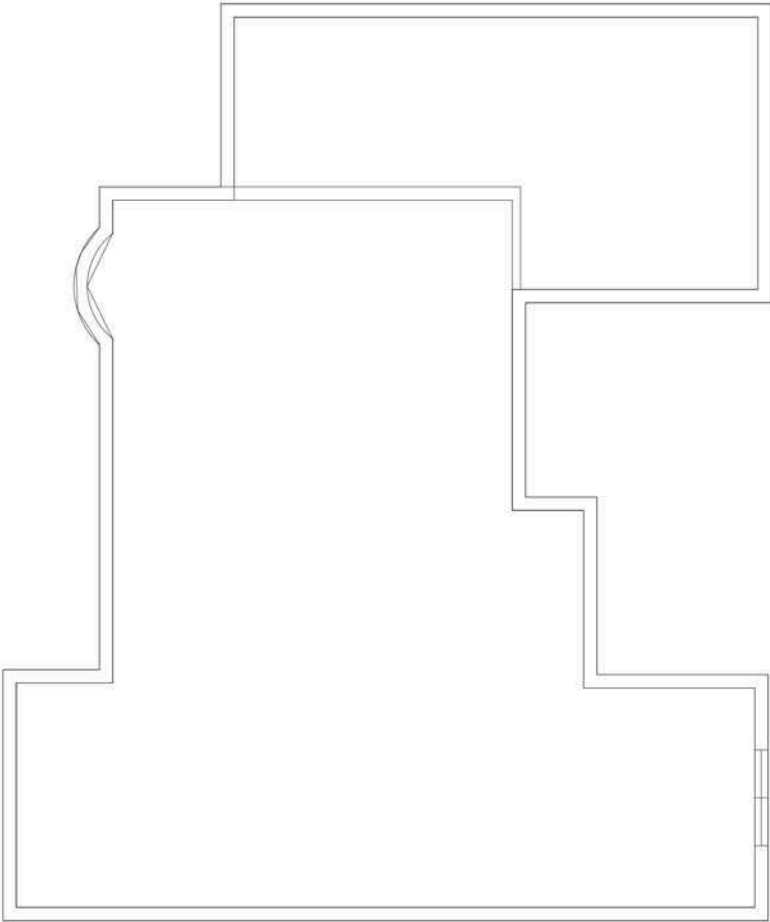
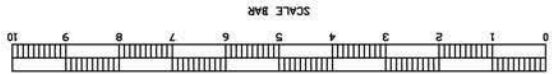
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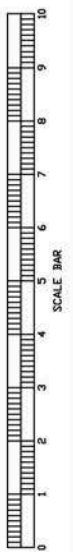
SITE ADDRESS:
Walderton
Northgate
Northwood

R Clarke Planning Ltd
NEWBERRY FARM, BUCHANANWORTH ROAD
WALDERTON, NORTHAMPTONSHIRE
LEICESTERSHIRE NN16 9JG
TEL: 01532 440000 FAX: 01532 440005
E-MAIL: RCLARKE@CLARKE.CO.UK
Licence number: 077566/2013

**R Clarke
Planning Ltd**

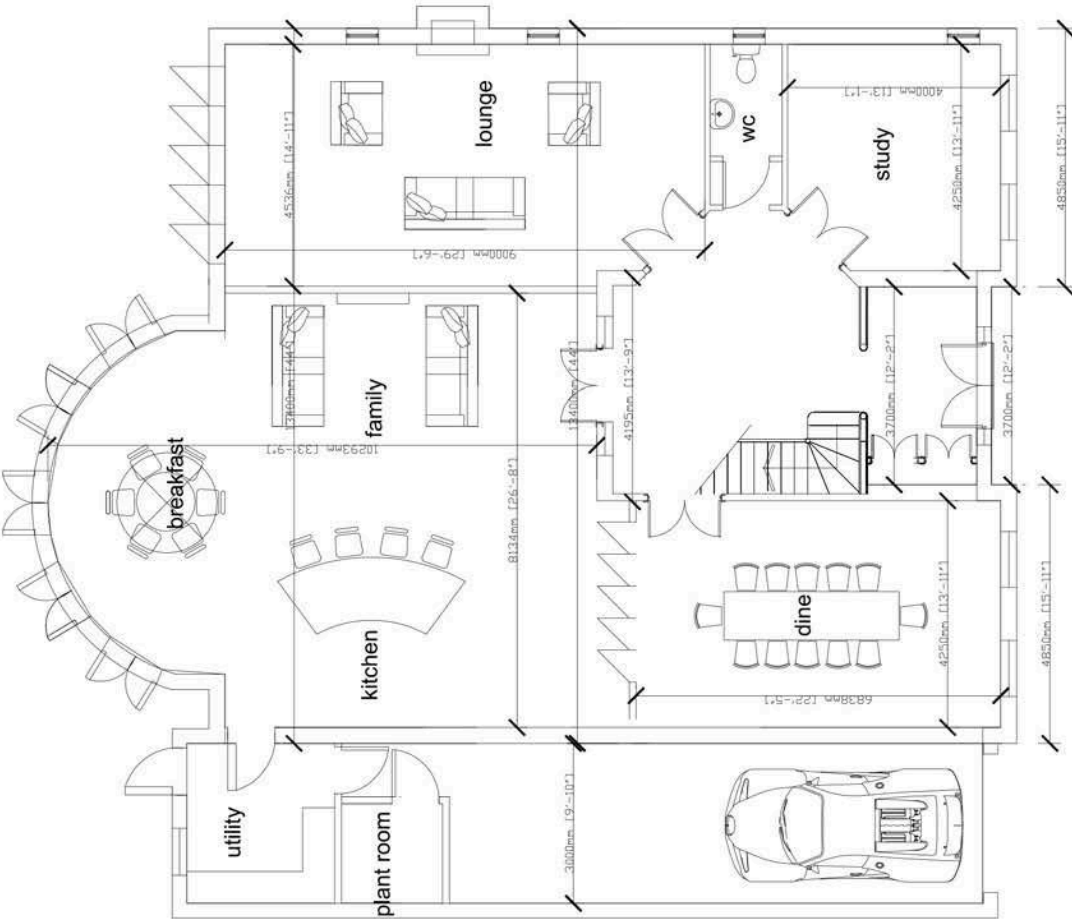


Ground Floor - 171sqm gross internal

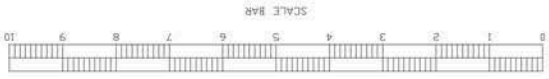
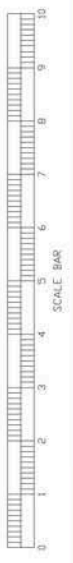


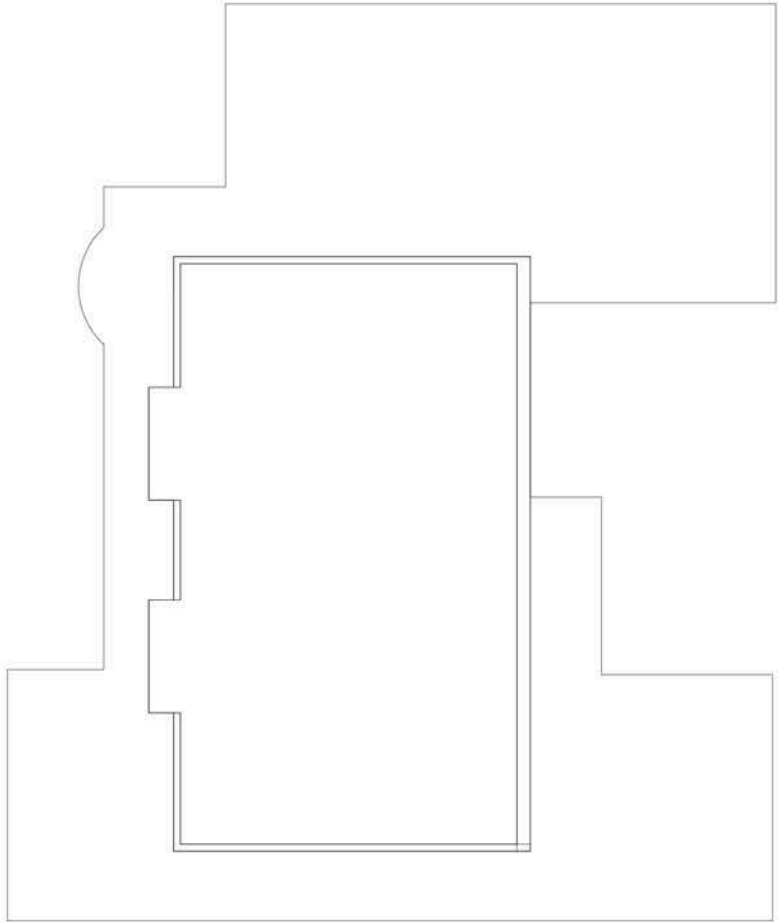
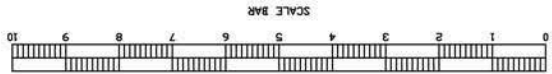
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<i>R Clarke Planning Ltd</i> KENFERRY FARM, TROMANSWORTH ROAD WILDERTON, NORTHWOOD, WARRINGTON CHESHIRE, WA14 4JG TEL: 01925 440000 FAX: 01925 440055 E-MAIL: RCLARKE@RCLARKE.CO.UK (Northwood office) 01925 440055 (Northwood office) 01925 440055			
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R Clarke Planning Ltd KEMFERRY FARM, INCHMANSWORTH ROAD NORTHWOOD, WINDSOR, MIDDLESEX TEL: 01753 440000 FAX: 01753 440055 E-Mail: RClarke@RClarke.com Mobile Number: 07796 20153			
R Clarke Planning Ltd			

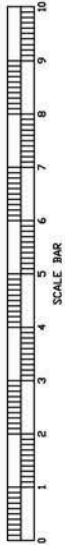


Ground Floor 250sqm (gross internal)
Ground Floor 270sqm (gross external)

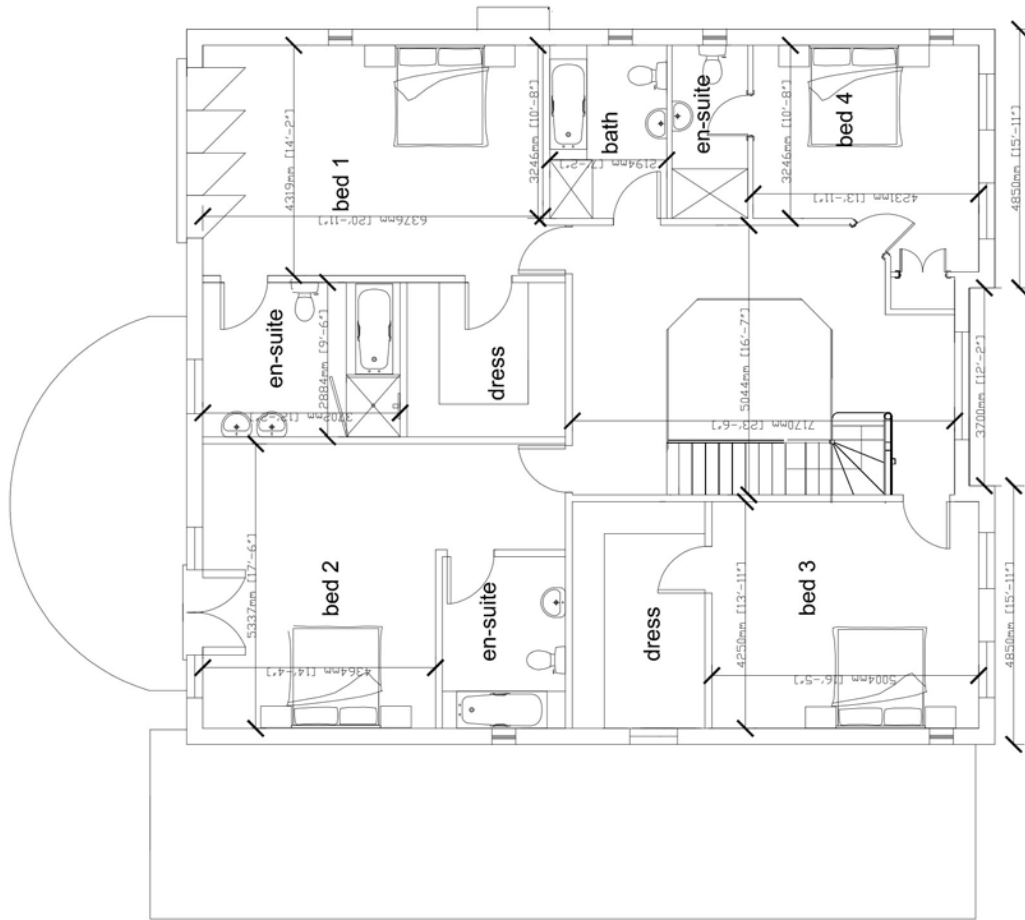
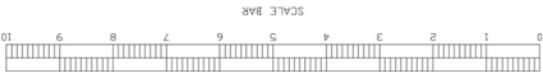




First Floor - 71sqm gross internal



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<i>R Clarke Planning Ltd</i> KEWERRY FARM, TROMANSWORTH ROAD WILDERTON, NORTHGATE, NORTHWOOD LEICESTERSHIRE, LE12 0JG TEL: 01530 440000 FAX: 01530 460055 E-Mail: RClarke@RClarke.com Northwood 07766 20153			
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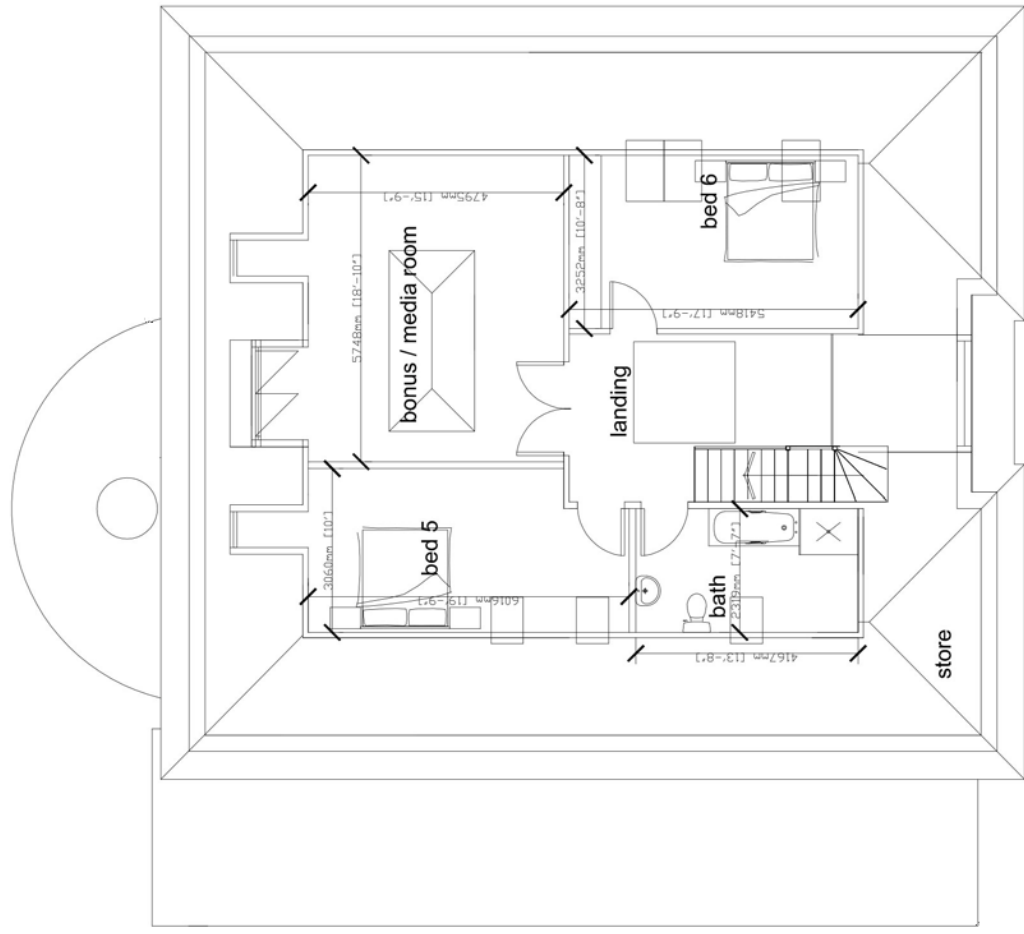
First Floor 184sqm (gross internal)
 First Floor 201sqm (gross external)



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SITE ADDRESS:	Walderton Northgate Northwood
PREPARED BY:	R Clarke Planning Ltd
ADDRESS:	HEWERY FARM, WOODMANWORTH ROAD WALDERTON, NORTHAMPTONSHIRE LEICESTERSHIRE NN16 9AA TEL: 01535 440000 FAX: 01535 440005 E-MAIL: RCLARKE@RCLARKE.CO.UK LICENCE NUMBER: 077569-20153
CLIENT:	R Clarke Planning Ltd



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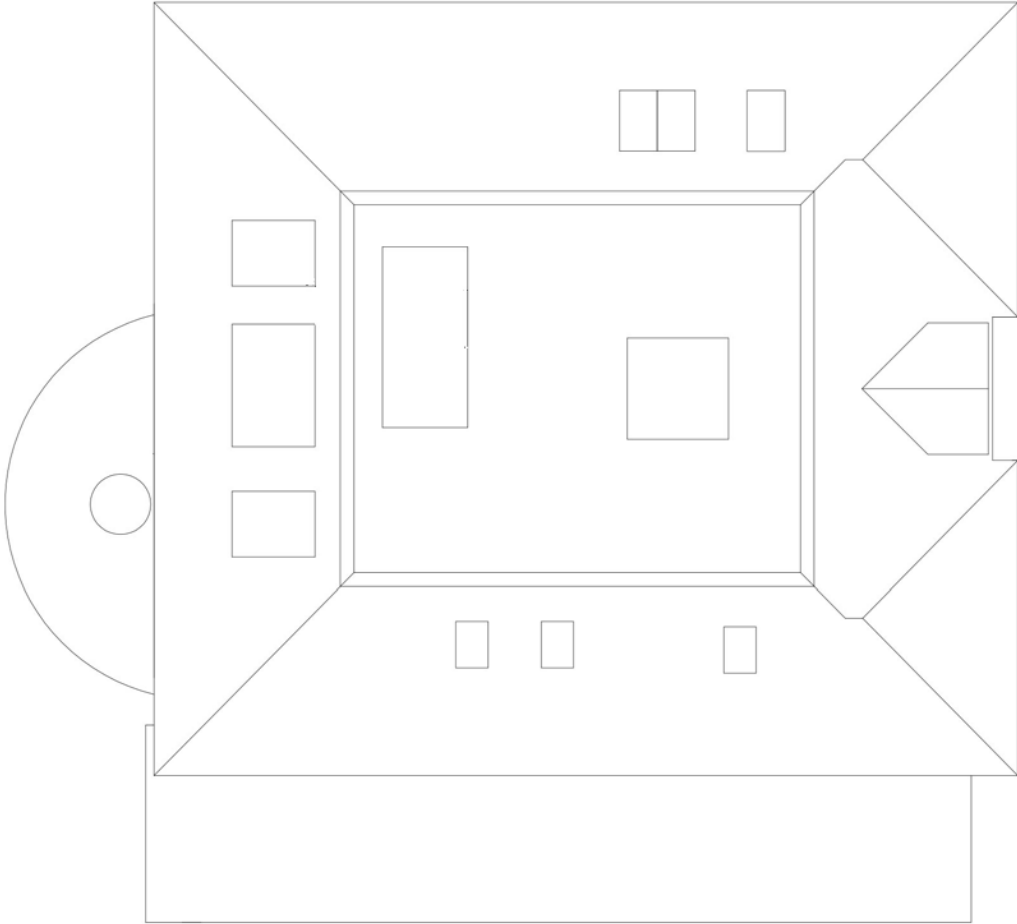


Second Floor 94sqm (gross internal)



SCALE BAR

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SITE ADDRESS:	Walderton Northgate Northwood
<i>R Clarke Planning Ltd</i> HEWERY FARM, HEDDINGWORTH ROAD WALSLEY, WOLFRATHAM, LEICESTERSHIRE LE19 4AD TEL: 01930 440000 FAX: 01930 440005 E-MAIL: RCLARKE@RCLARKE.CO.UK Website: www.rclarkep.com License number: 017966-20153	
R Clarke Planning Ltd	



Roof Plan



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LEVELS RELATE TO: GFS DATA			

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PROPOSED FLOOR PLAN

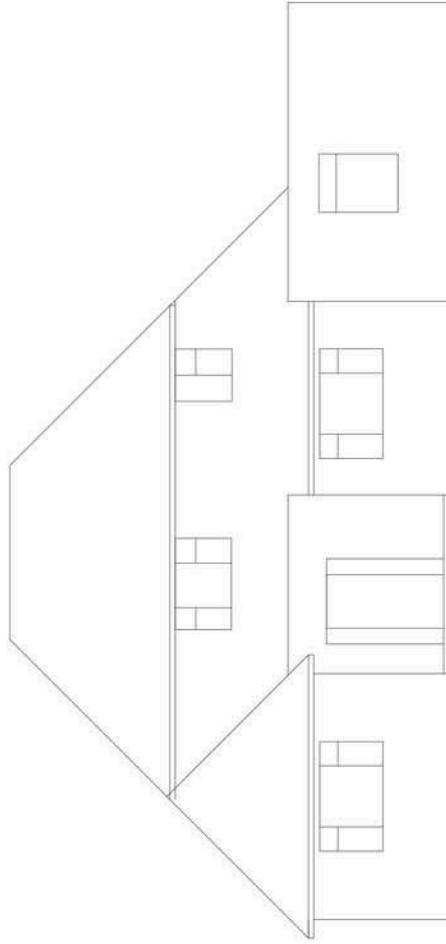
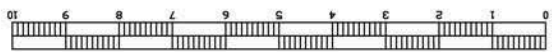
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Walderton
Northgate
Northwood

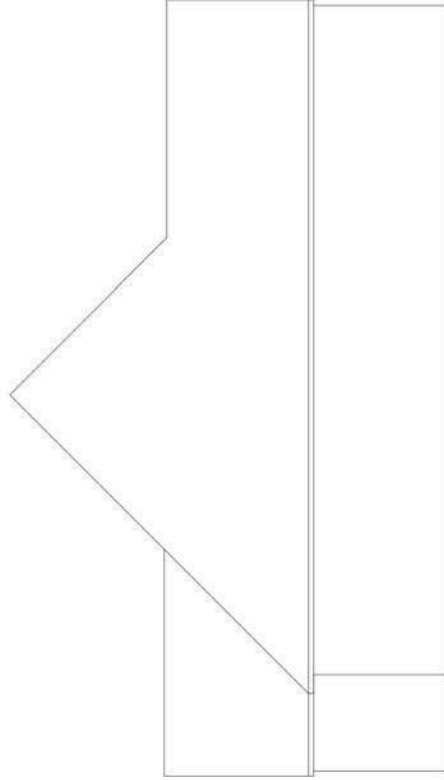
R Clarke Planning Ltd

HEWERY FARM, RICHMONDSWORTH ROAD
WALDETON, NORTHAMPTONSHIRE
NN16 9AA
TEL: 01930 440000 FAX: 01930 440055
E-Mail: RClarke@rclarkeplanning.com
Licence number: 017956/2015

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Front Elevation



Side Elevation



SCALE:	1:100	DATE:	A3
PROJECT:	TP12		
LEVELS RELATE TO: OS DATA			

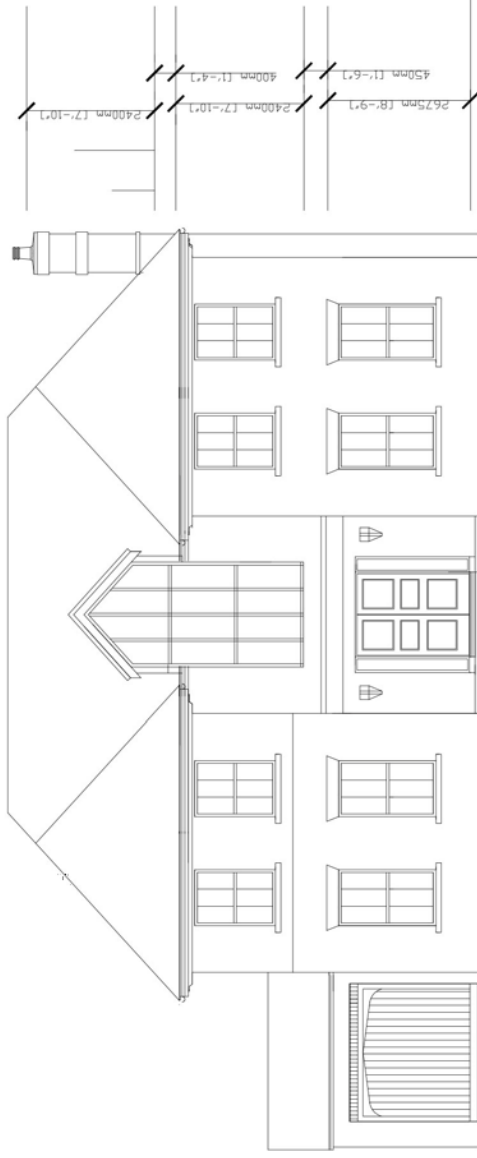
DRAWING TITLE:
EXISTING ELEVATIONS

SITE ADDRESS:
Walderton
Northgate
Northwood

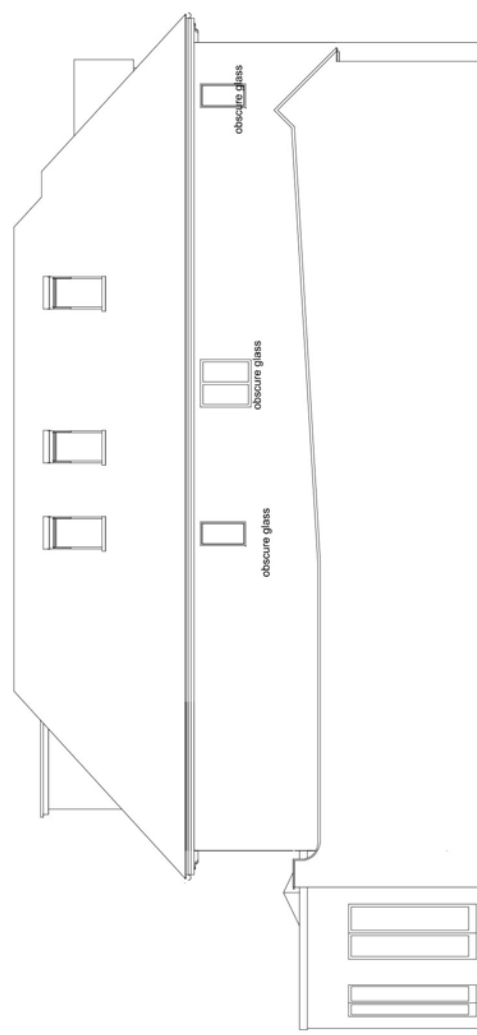
R Clarke Planning Ltd
 KEWERRY FARM, TECHMANSWORTH ROAD
 WALDERTON, NORTHWOOD, WIMBORNE, DORSET
 DT98 4AD
 TEL: 01302 440000 FAX: 01302 440055
 E-MAIL: RCLARKE@RCLARKE.CO.UK
 REGISTRATION NUMBER: 171968-20153

**R Clarke
Planning Ltd**

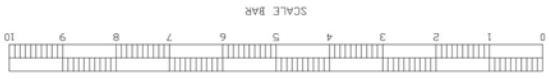
Copyright © R Clarke Planning Ltd



Front Elevation



Side Elevation



450mm (1'-5 1/2")
 400mm (1'-4")
 2675mm (8'-9 1/2")
 2400mm (7'-10 3/4")

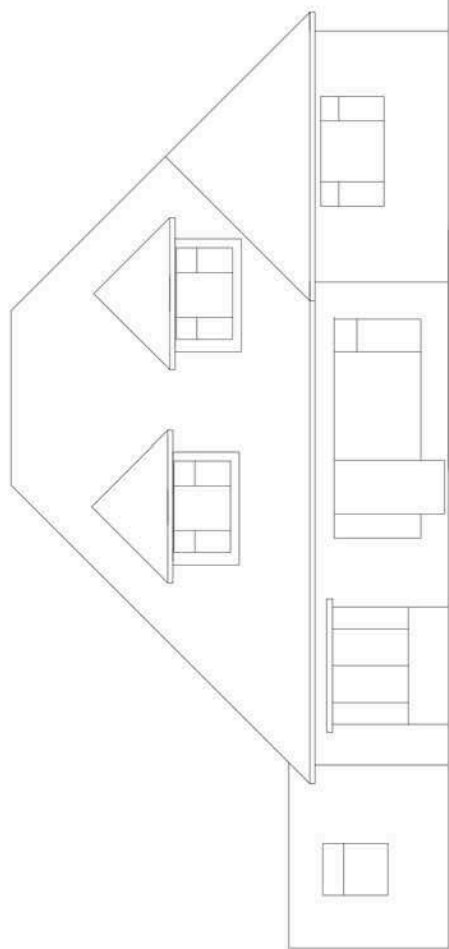
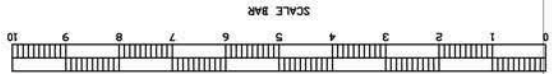
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FLOOR SIZE:	A3
DESCRIPTION:	TP06/e
LEVELS RELATE TO:	SPS DATA

DRAWING TITLE:
 PROPOSED FLOOR PLAN

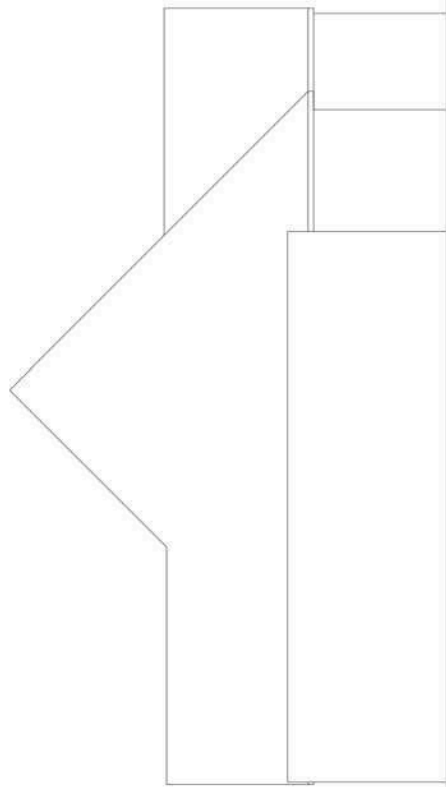
SITE ADDRESS:
 Walderton
 Northgate
 Northwood

R Clarke Planning Ltd
 HEWERY FARM, RICHMONDSWORTH ROAD
 WILDERTON, NORTHWOOD, LEAMINGDON, Notts
 NG21 4JG
 TEL: 01509 440000 FAX: 01509 440055
 E-MAIL: RCLARKE@RCLARKE.CO.UK
 REGISTRATION NUMBER: 0775962-201153

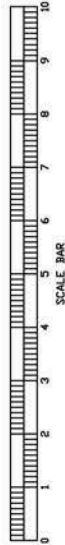
R Clarke
 Planning Ltd



Rear Elevation



Side Elevation



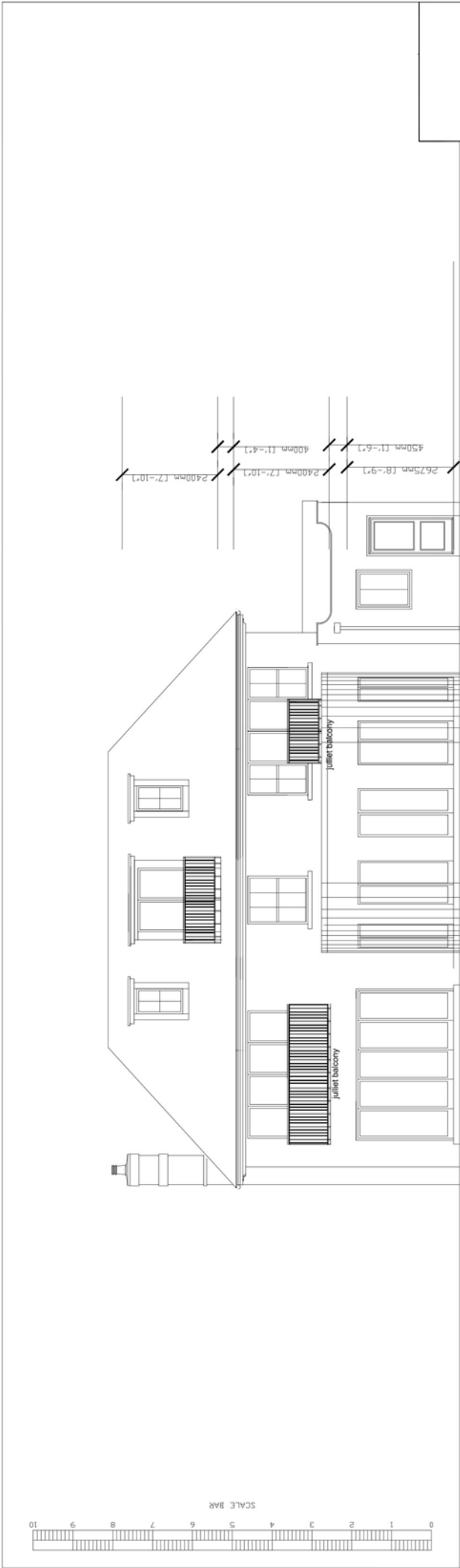
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PROJECT:	TP13	DATE:	
LEVELS RELATE TO: OS DATA			

DRAWING TITLE:
EXISTING ELEVATIONS

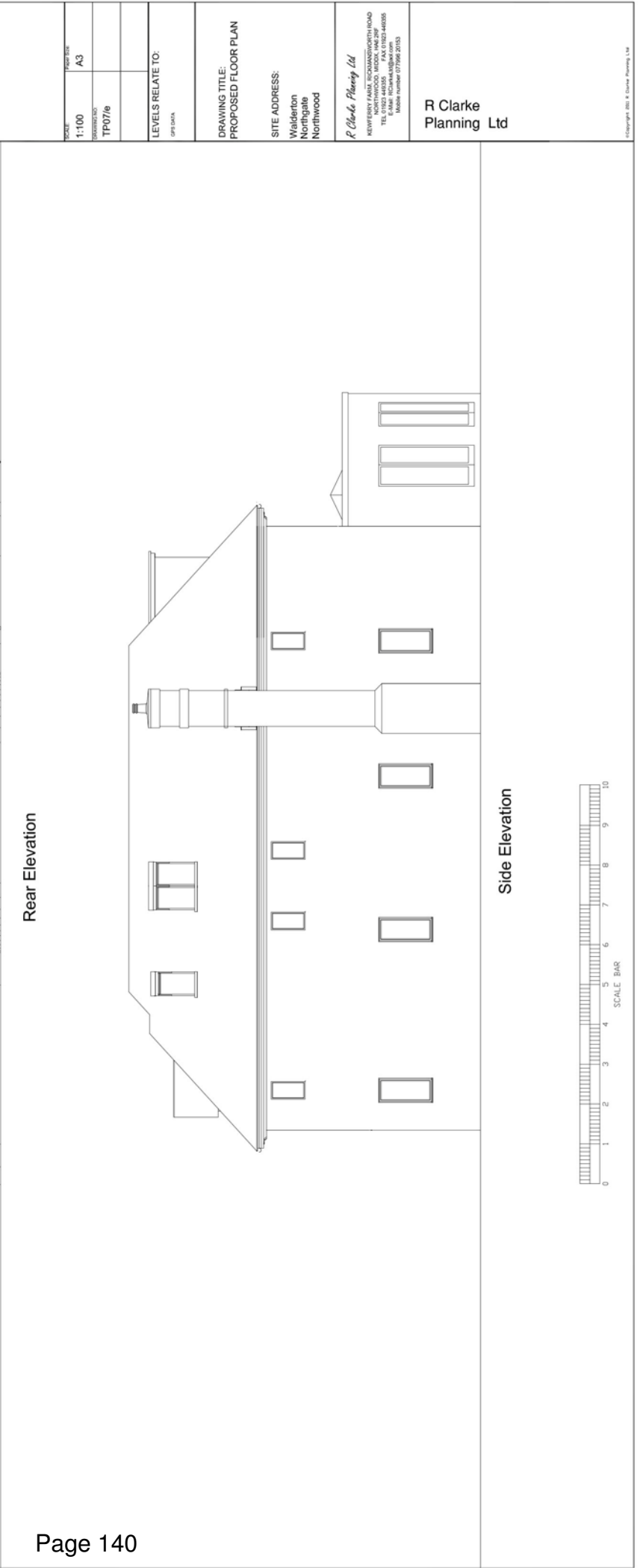
SITE ADDRESS:
Walderton
Northgate
Northwood

R Clarke Planning Ltd
REDFERRY FARM, REDDINGWORTH ROAD
WALDERTON, NORTHWOOD, NORTHAMPTON
NN16 9JG
TEL: 01202 440000 FAX: 01202 440006
E-MAIL: RCLARKE@CLARKEPLANNING.COM
Business Number: 07756621513

R Clarke
Planning Ltd



Rear Elevation



Side Elevation

SCALE:	1:100	FLOOR SIZE:	A3
PROJECT NO.:	TP07/e		
LEVELS RELATE TO: OS DATUM			
DRAWING TITLE: PROPOSED FLOOR PLAN			
SITE ADDRESS: Walderton Northgate Northwood			
<i>R Clarke Planning Ltd</i> HEWLETT FARM, HEDDINGWORTH ROAD WALSLE, LEICESTERSHIRE, LE19 4JG TEL: 01530 440000 FAX: 01530 440005 E-MAIL: RCLARKE@RCLARKE.CO.UK LICENCE NUMBER: 077566 2015			
R Clarke Planning Ltd			

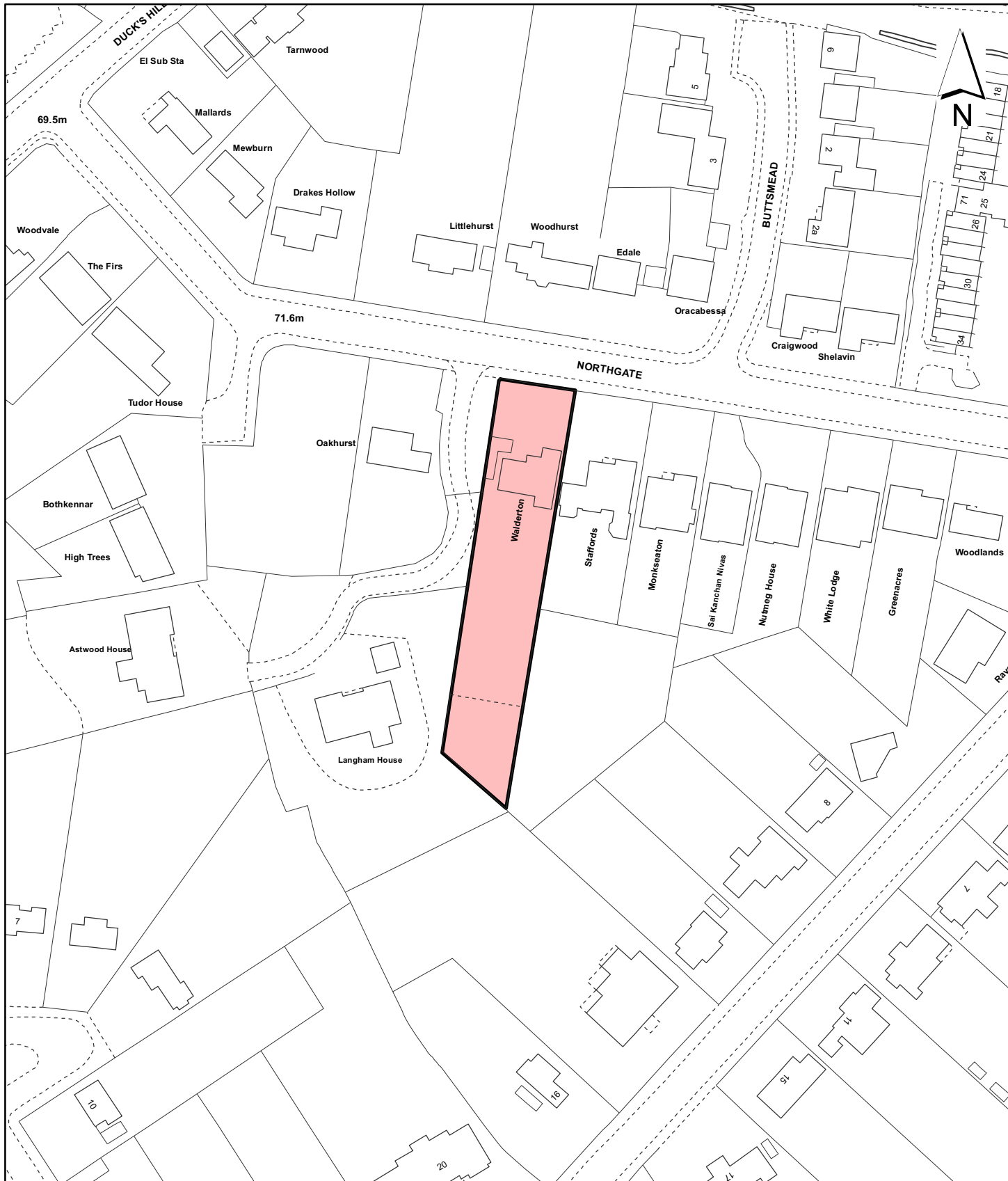


Simon Hawkins M.Arbor.A.
**Merewood Arbicultural
 Consultancy Services**
 Merewood, Gregory Road Hedgerley, Bucks, SL2 3XW
 Tel: 01753 647236 Mob: 07784 915944
 email: s_simon.hawkins@hotmail.co.uk


Site: Walderton	1:200 @ A1
Drawing Title: Tree Protection Plan	September 2012

Key:

- Category A
- Category B
- Category C
- Category U
- Crown Spread
- Tree Number
- Species
- Category
- Tree Protection Fencing BS5837:2012



Notes

 Site boundary

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Site Address

**Walderton, Northgate
Northwood**

Planning Application Ref:

47749/APP/2013/153

Planning Committee

North Page 142

Scale

1:1,250

Date

**June
2013**

**LONDON BOROUGH
OF HILLINGDON
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning, Sport and Green Spaces

Address 16 FARMLANDS EASTCOTE

Development: single storey side/rear extension.

LBH Ref Nos: 68966/APP/2013/113

Date Plans Received: 17/01/2013

Date(s) of Amendment(s): 04/03/2013

Date Application Valid: 17/01/2013

17/01/2013

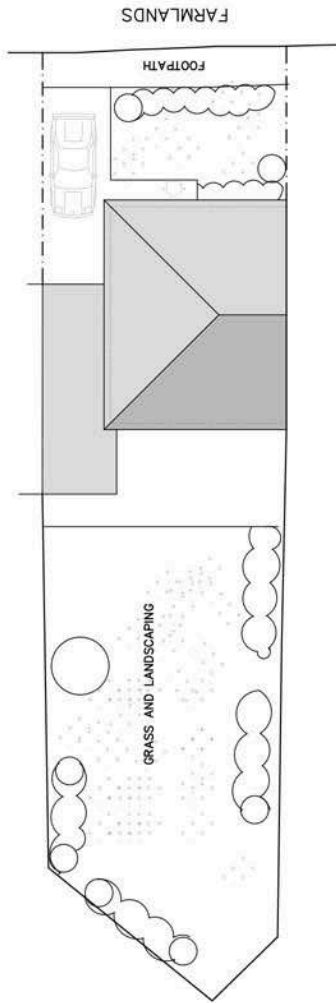
GENERAL NOTES:

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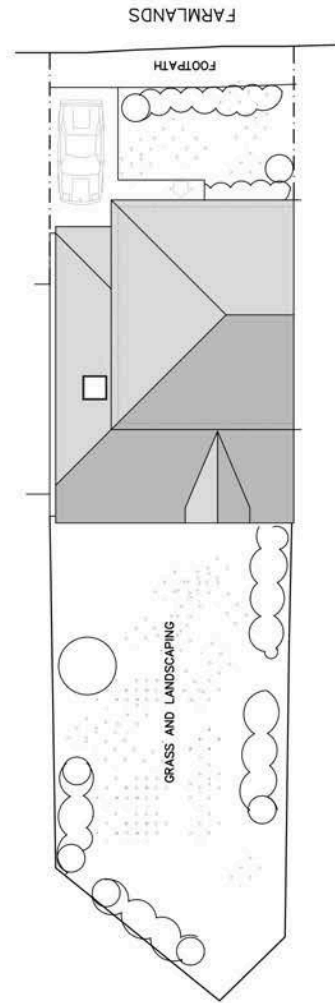
**TURQUOISE
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The Coach House
 Tewin Water
 Welwyn, Herts AL6 0BW
 mail@turquoisenoise.com
 01438 712958



EXISTING SITE AND ROOF PLAN 1:200



PROPOSED SITE AND ROOF PLAN 1:200



LOCATION PLAN 1:1250



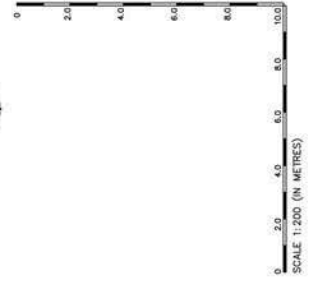
SCALE 1:1250 (IN METRES)

rev:	revision notes:	date:
DF		
drawn by:	drawn date:	scale:
	JULY 12	AS NOTED @ A3

project:
 16 FARMLANDS,
 PINNER, MIDDX, HA5 2LW
 client:
 MR. MRS. BHALLA

draw title:
 LOCATION PLAN, EXISTING AND
 PROPOSED SITE AND ROOF PLANS

draw no:	rev:
1331 PL01	A



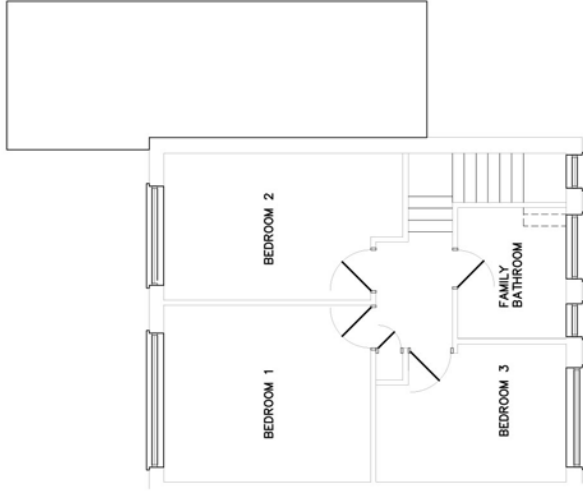
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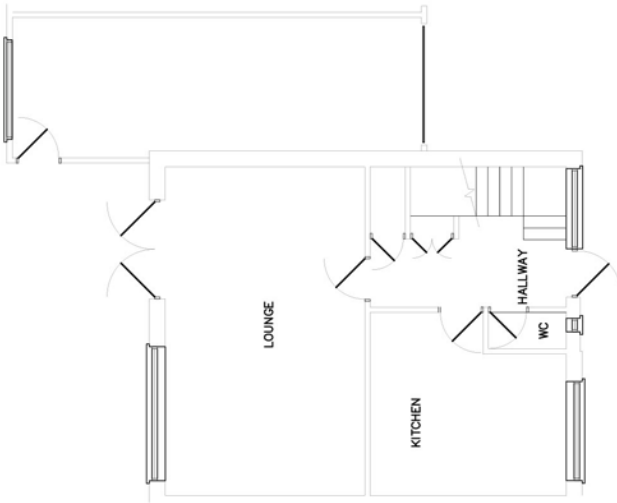
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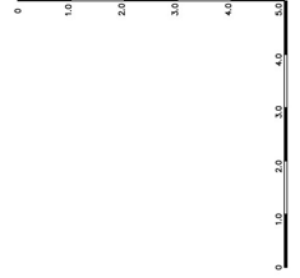
The Coach House
 Tewin Water
 Welwyn, Herts AL6 0BW
 mail@turquoisenoise.com
 01438 712958



**EXISTING FIRST
 FLOOR PLAN 1:100**



**EXISTING GROUND
 FLOOR PLAN 1:100**



rev.	revision notes:	drawn by:	drawn date:	scale:	date:
DF			JULY 12	1:100 @ A3	
project: 16 FARMLANDS, PINNER, MIDDX, HA5 2LW					
client: MR. MRS. BHALLA					
desig title: EXISTING FLOOR PLANS					
desig no: 1331 PL02					
rev. -					

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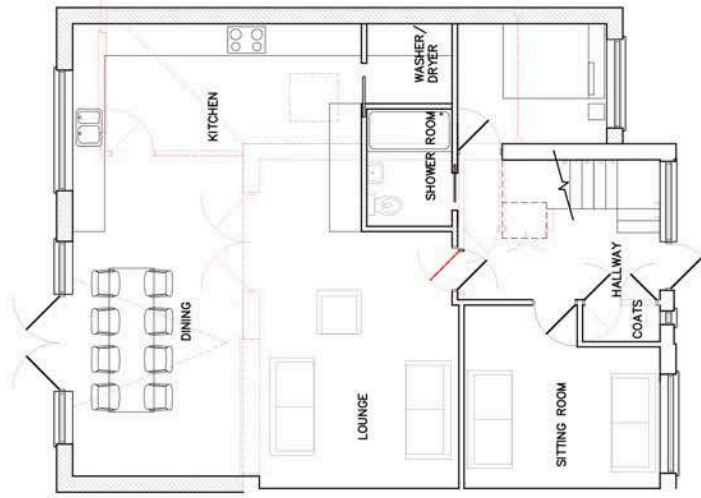
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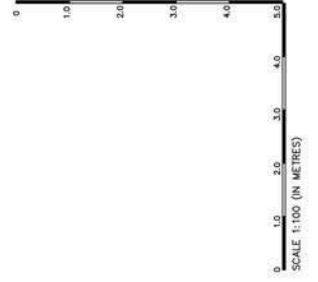
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 LTD.**



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 Tewin Water
 Welwyn, Herts AL6 0BW
 mail@turquoisenoise.com
 01438 712958



**PROPOSED GROUND
 FLOOR PLAN 1:100**



rev:	revision notes:	drawn by:	drawn date:	scale:	date:
DF			JULY 12	1:100 @ A3	
project: 16 FARMLANDS, PINNER, MIDDX, HA5 2LW client:					
MR. MRS. BHALLA					
desc title: PROPOSED FLOOR PLANS					
desig no:	1331 PL03				rev:
					A

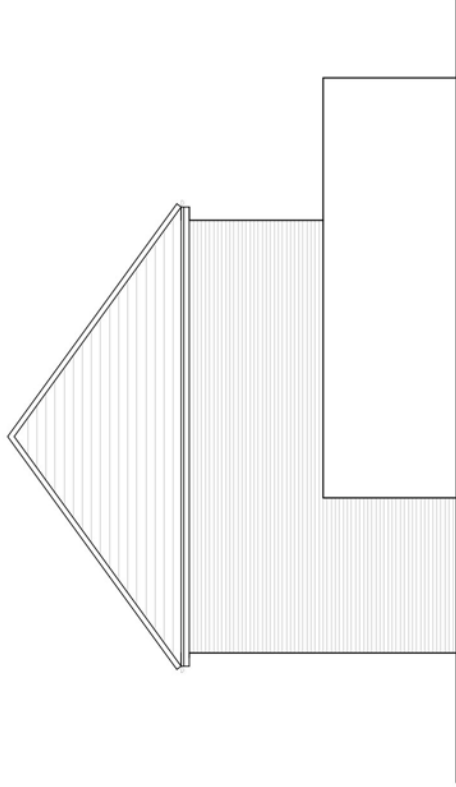
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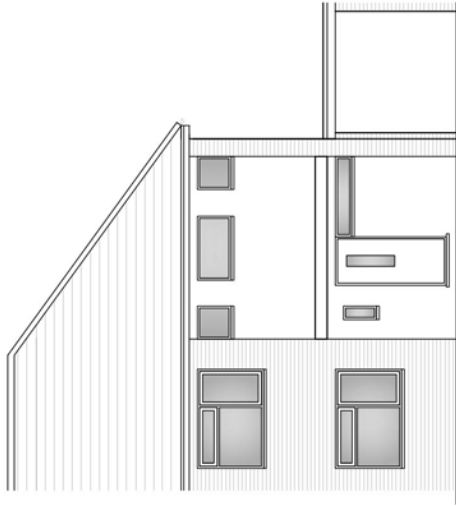
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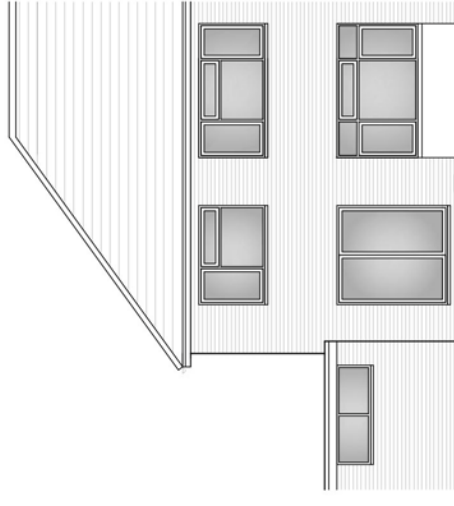
The Coach House
 Tewin Water
 Welwyn, Herts AL6 0BW
 mail@turquoisenoise.com
 01438 712958



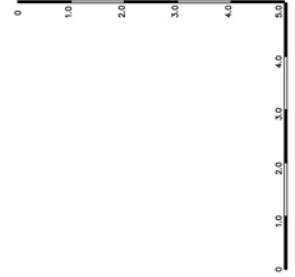
EXISTING SIDE ELEVATION 1:100



EXISTING FRONT ELEVATION 1:100



EXISTING GARDEN ELEVATION 1:100



rev.	revision notes:	drawn by:	drawn date:	scale:	date:
DF			JULY 12	1:100 @ A3	
project: 16 FARMLANDS, PINNER, MIDDX, HA5 2LW					
client: MR. MRS. BHALLA					
drawing title: EXISTING ELEVATIONS					
drawing no: 1331 PL04					
rev.:					

GENERAL NOTES:

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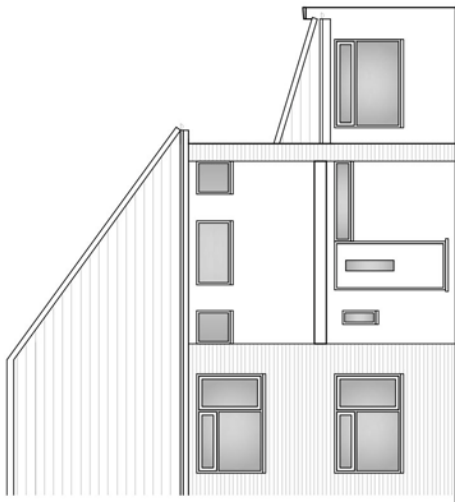
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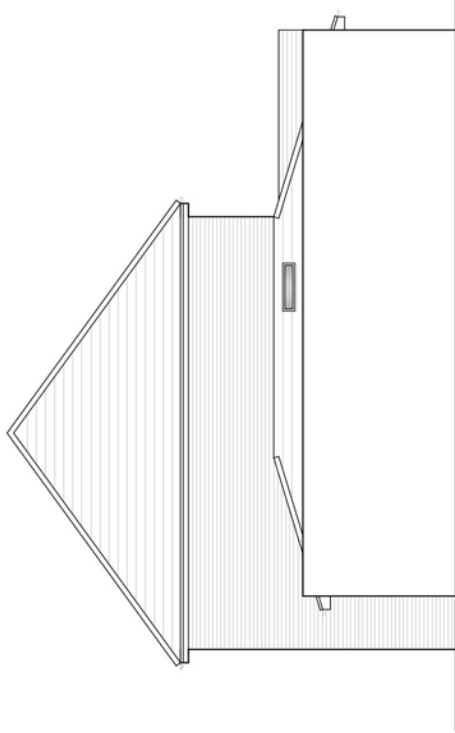
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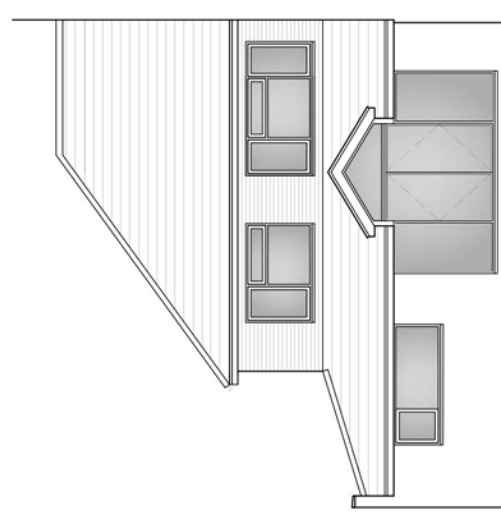
The Coach House
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 mail@turquoisenoise.com
 01438 712958



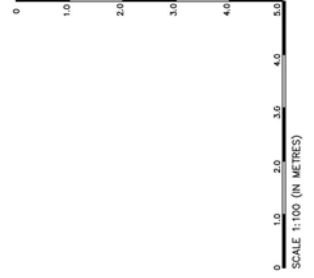
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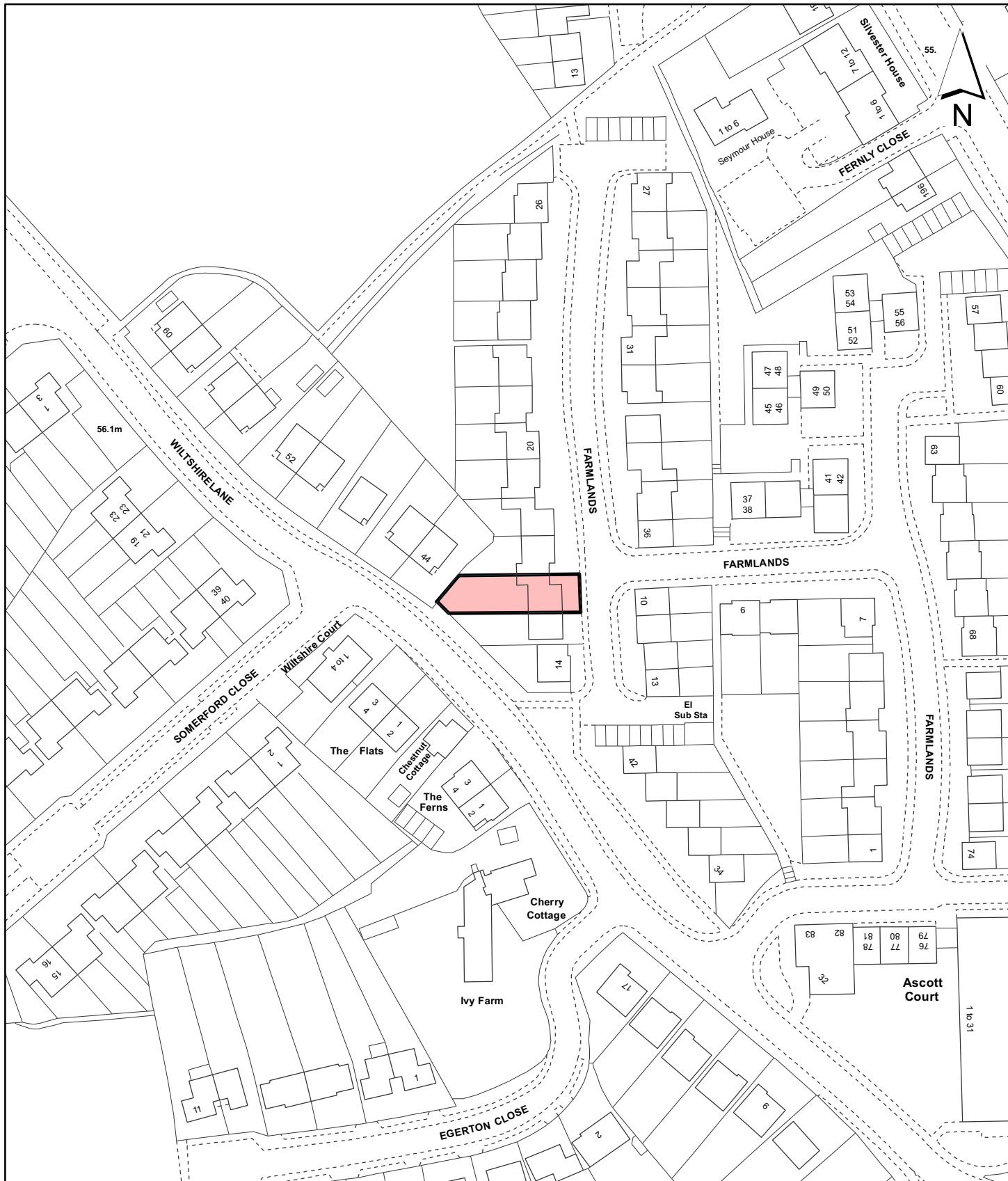
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PROPOSED GARDEN ELEVATION 1:100



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project: 16 FARMLANDS, PINNER, MIDDX, HA5 2LW				
client: MR. MRS. BHALLA				
desig title: PROPOSED ELEVATIONS				
desig no:	1331 PL05			rev:
				A



Notes

 Site boundary

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Site Address

**16 Farmlands
Eastcote**

**LONDON BOROUGH
OF HILLINGDON
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

68966/APP/2013/113

Scale

1:1,250

Planning Committee

North Page 149

Date

**April
2013**



HILLINGDON
LONDON

Report of the Head of Planning, Sport and Green Spaces

Address 524-526 VICTORIA ROAD RUISLIP

Development: Change of use from Use Class A1 (Shops) to Use Class D1 (Non-residential Institutions) to provide childcare provision involving alterations to rear elevation (Resubmission)

LBH Ref Nos: 36666/APP/2013/395

Date Plans Received: 19/02/2013

Date(s) of Amendment(s):

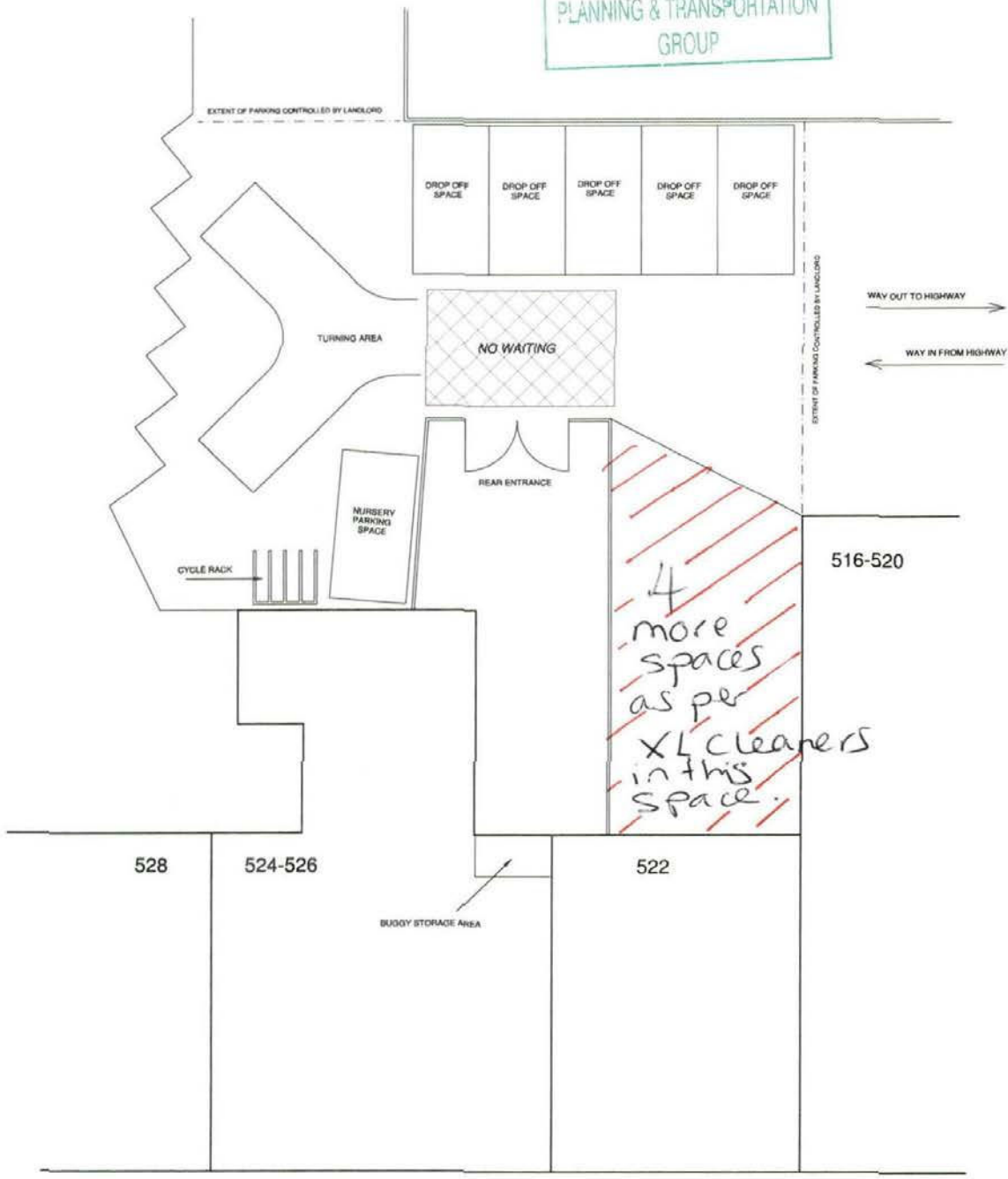
19/02/2013

Date Application Valid: 21/02/2013

19/02/0013

21/02/0013

LON BORO OF HILLINGDON
RECEIVED
19 FEB 2013
PLANNING & TRANSPORTATION
GROUP



PROPOSED PARKING PLAN

10,000 m @ 1:100

NTS

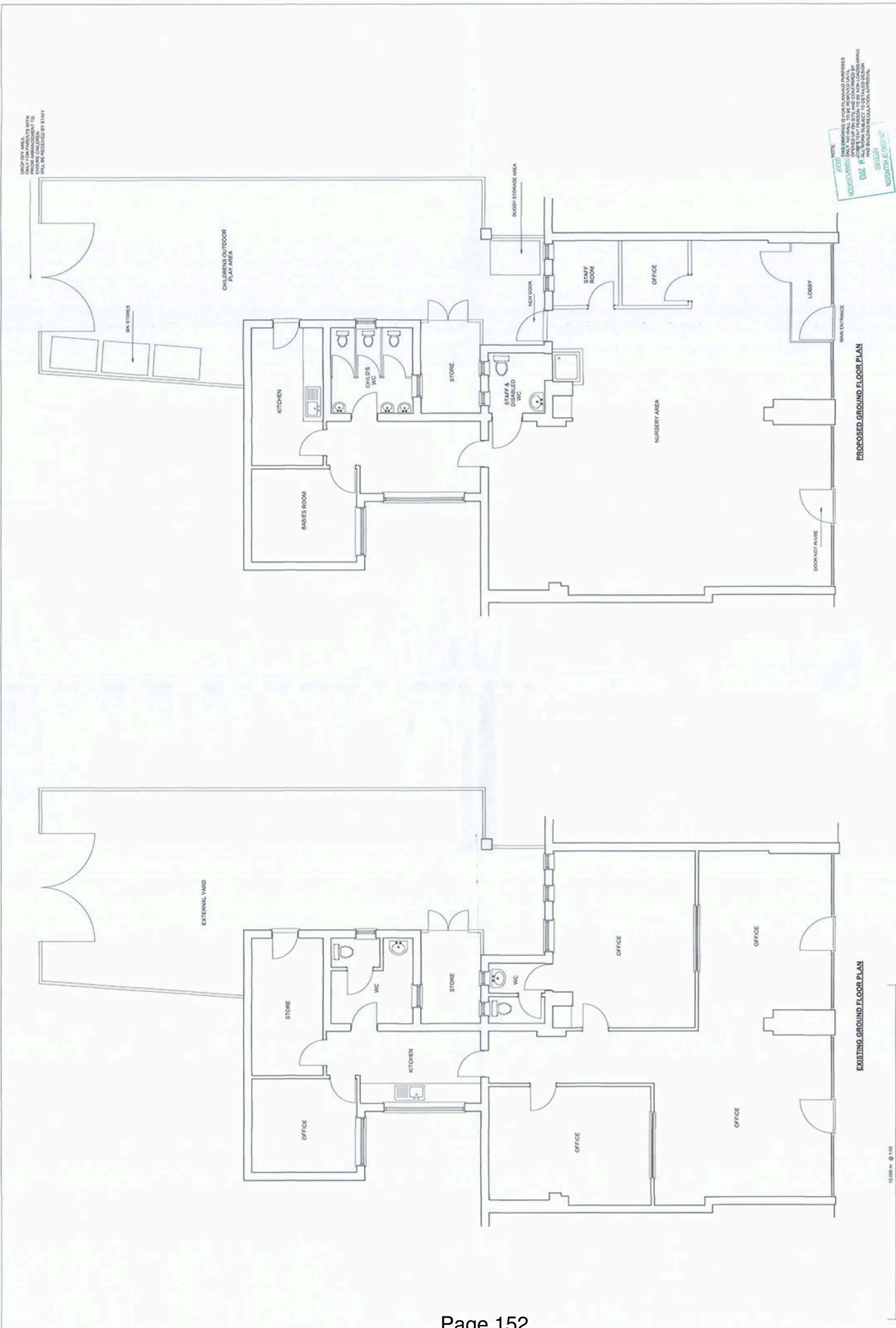
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524 / 526 VICTORIA ROAD RUISLIP MIDDX HA4
PLANNING APPLICATION FOR CHANGE OF USE

SCALE 1:100 @ A2
FEB 2013

DRAWING No. 1035.3 REV A

JAMES RUSH ASSOCIATES LTD
38 WINDMILL DRIVE CROXLEY GREEN Rickmansworth
HERTFORDSHIRE WD3 3FD TEL 01923 775 781
EMAIL: jamesrusherush@hotmail.com



15/000 m. © 1/10

EXISTING GROUND FLOOR PLAN

PROPOSED GROUND FLOOR PLAN

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JAMES RUSH ASSOCIATES LTD
 24 MICHAEL GATE, COOKLEY, GERRY, DUBLIN 15
 PH: 01-833 775 780 • TEL: 01-833 775 781
 Email: jamesr@jamesrush.com

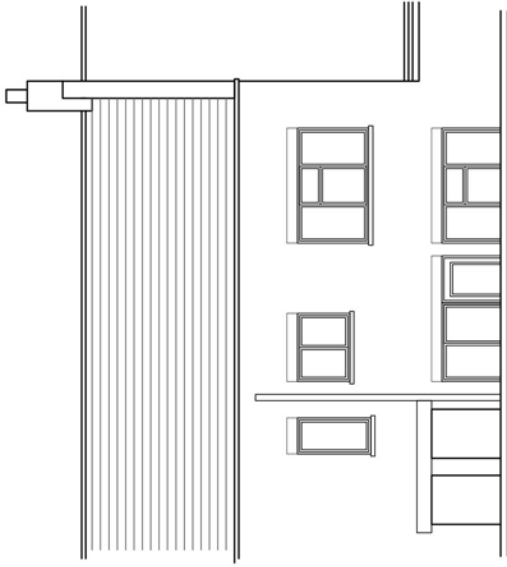
DRAWING No. 1035.1 REV C

SCALE 1:50 @ A1
FEB 2013

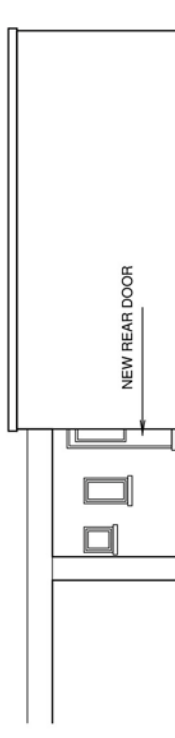
524 / 526 VICTORIA ROAD RUSLIP MIDDX HA4
 PLANNING APPLICATION FOR CHANGE OF USE

ALL NEW WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS.
 ALL WORK TO BE COMPLETED BY THE END OF THE PROJECT.
 ALL WORK TO BE COMPLETED BY THE END OF THE PROJECT.
 ALL WORK TO BE COMPLETED BY THE END OF THE PROJECT.
 ALL WORK TO BE COMPLETED BY THE END OF THE PROJECT.

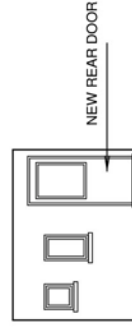
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FULL PROPOSED REAR ELEVATION
SCALE 1:100



FULL EXISTING REAR ELEVATION
SCALE 1:100

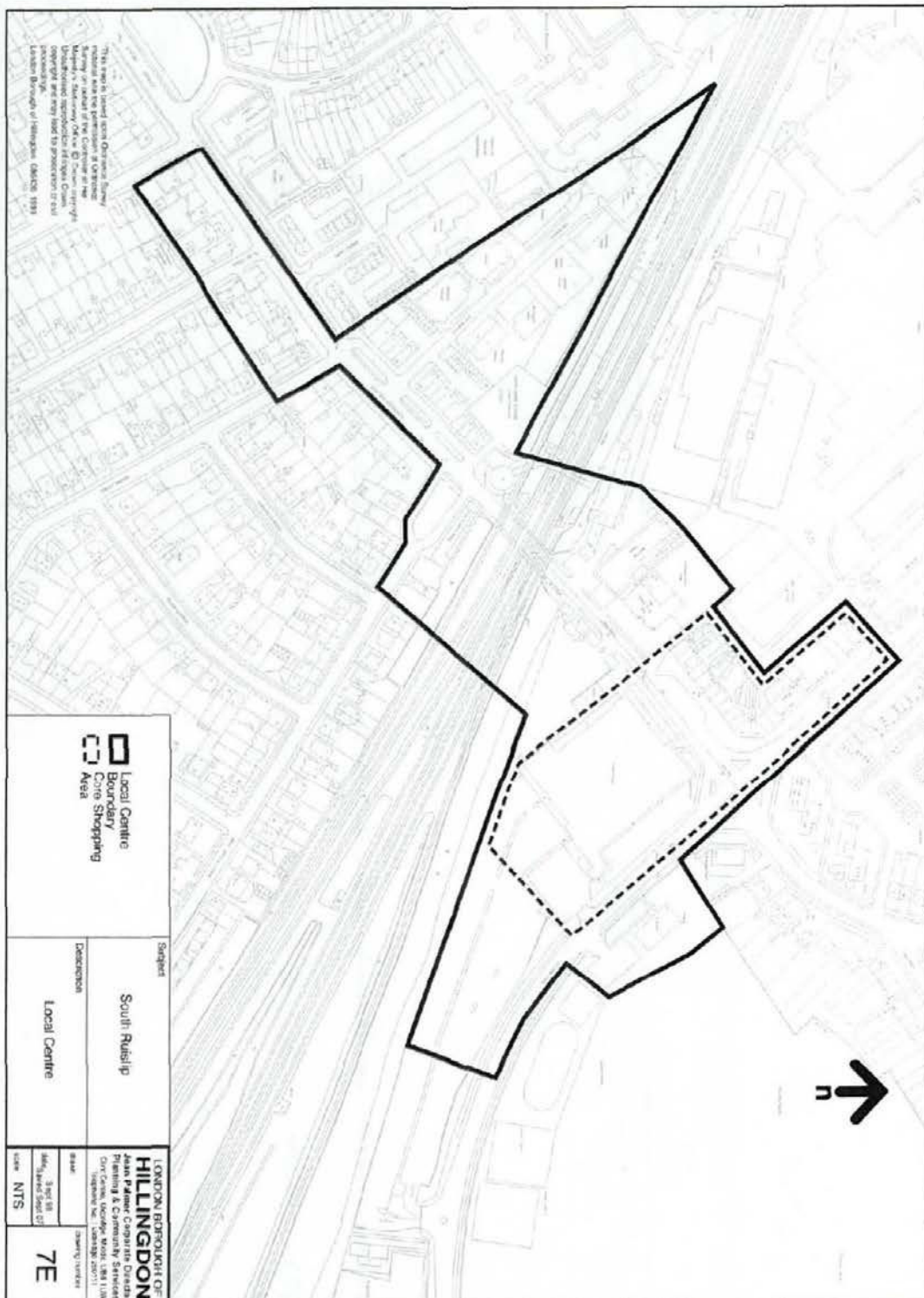


PROPOSED REAR ELEVATION
SCALE 1:100

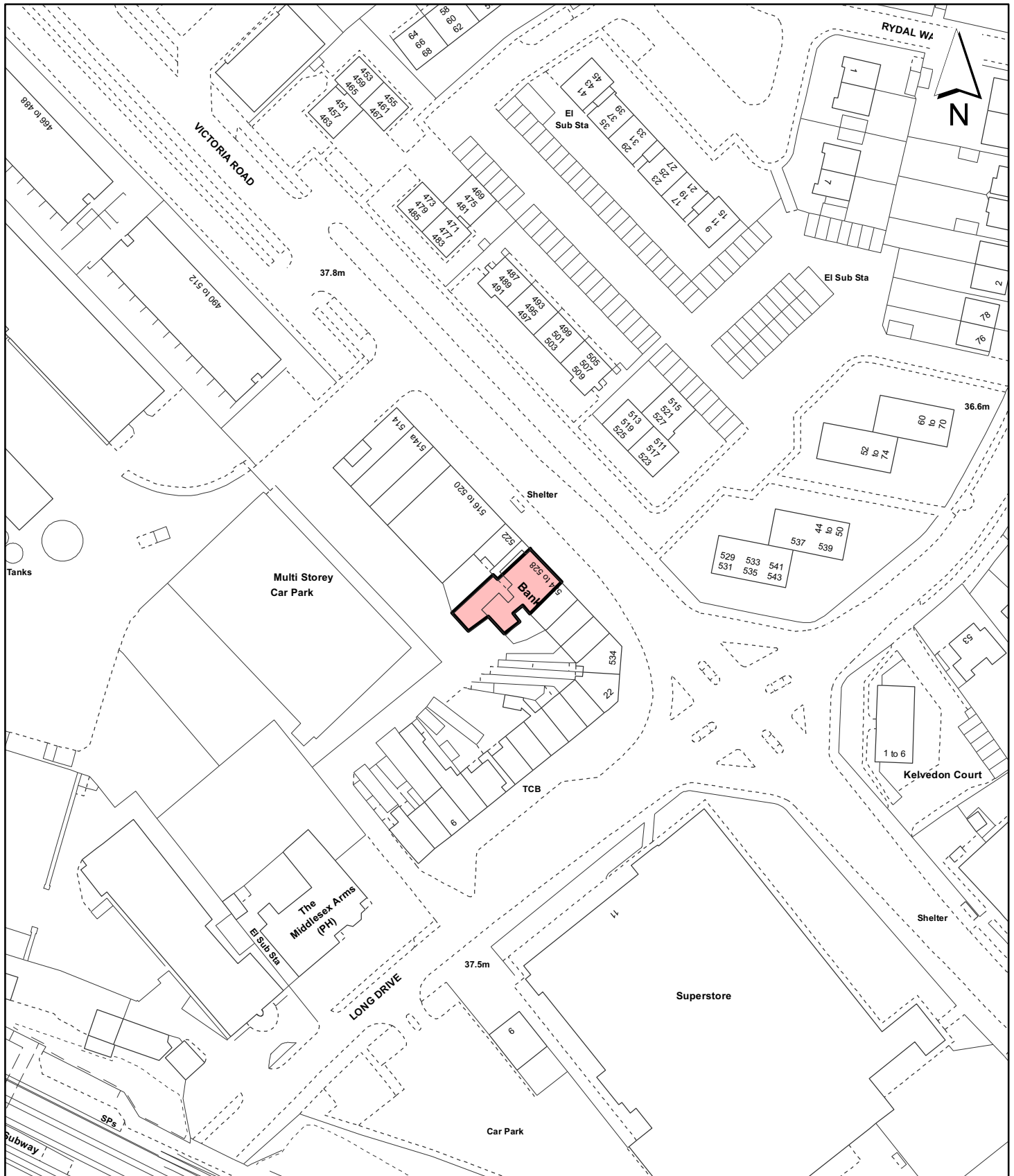




EXISTING REAR ELEVATION
SCALE 1:100

10,000 m @ 1:50



London Borough of Hillingdon UDP Saved Policies September 2007 (Published Version)



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	<p>Planning Application Ref:</p> <p>36666/APP//2013/395</p>	<p>Scale</p> <p>1:1,250</p>	
	<p>Planning Committee</p> <p>North Page 155</p>	<p>Date</p> <p>June 2013</p>	
		 <p>HILLINGDON LONDON</p>	

Report of the Head of Planning, Sport and Green Spaces

Address GRASS VERGE OPPOSITE RECREATION GROUND MOORHALL ROAD
HAREFIELD

Development: Installation of replacement 11.8m telecommunications mast, together with two new telecommunications cabinets.

LBH Ref Nos: 67032/APP/2013/1294

Date Plans Received: 20/05/2013

Date(s) of Amendment(s):

Date Application Valid: 20/05/2013

ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE.

N.G.R. # E: 505194 N: 188817

CONCESSION REQUIRED NO

DIRECTIONS TO SITE:
 AT JUNCTION 17 SOUTH (M25), TAKE THE A412 EXIT TO MAPLE CROSS. AT THE ROUNDABOUT, TAKE THE 1ST EXIT ONTO A412/DENHAM WAY HEADING TO MAPLE CROSS. AT THE ROUNDABOUT, TAKE THE 2ND EXIT ONTO A412/DENHAM WAY/N ORBITAL RD. CONTINUE TO FOLLOW A412/N ORBITAL RD. GO THROUGH 1 ROUNDABOUT, TURN LEFT AT MOORFIELD RD. SLIGHT LEFT TO STAY ON MOORFIELD RD. CONTINUE STRAIGHT TO STAY ON MOORFIELD RD. SLIGHT RIGHT TO STAY ON MOORHALL RD. CONTINUE ONTO MOORHALL RD. THE SITE IS LOCATED ON YOUR RIGHT HAND SIDE OPPOSITE THE BUSINESS PARK.

NOTES:

REV	MODIFICATION	BY	CH	DATE
C	Revised to indicate	CS	RB	22.02.13
B	Revised to indicate	CS	RB	11.03.13
A	Issued for Approval	CS	RB	22.02.13

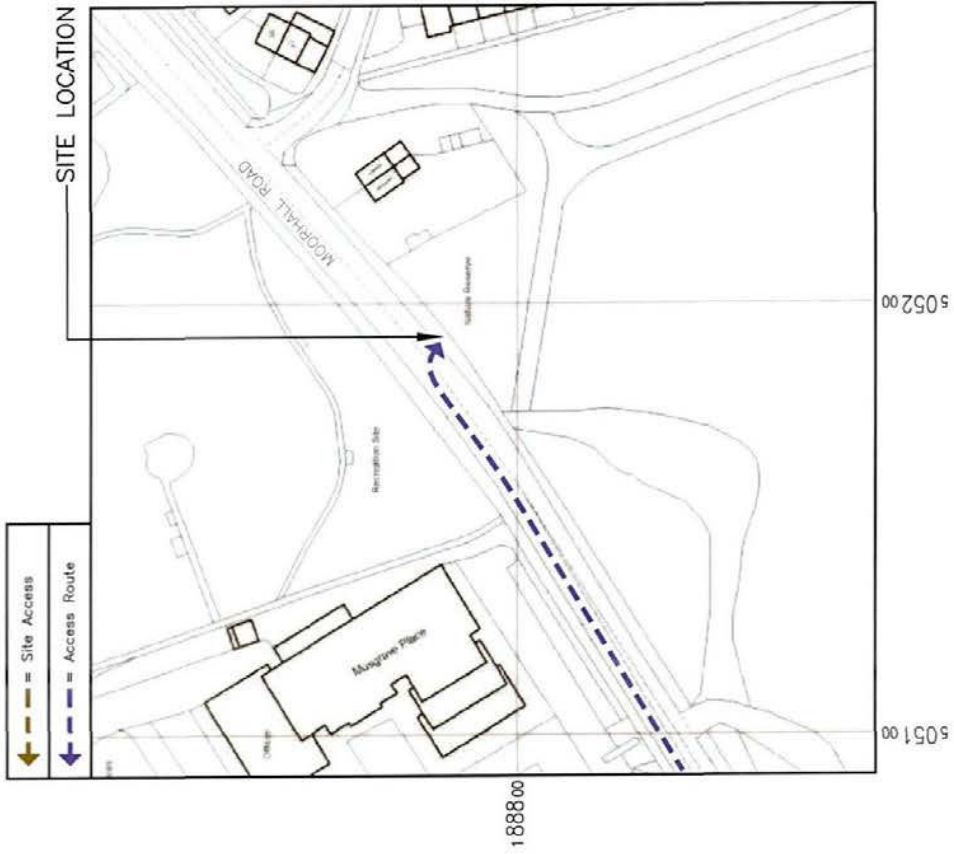


Cell Name	Opt.
SOUTH HAREFIELD	-
Cell ID No	VF
CTIL	TEF
136732	44623
	76293

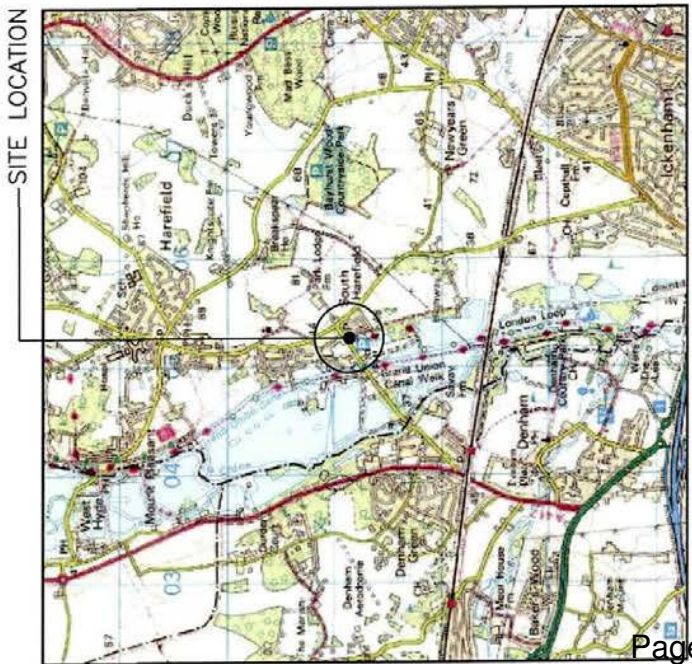
Site Address / Contact Details
 MOORHALL ROAD
 SOUTH HAREFIELD
 MIDDLESEX
 UB9 6PE

Drawing Title: SITE LOCATION MAPS
 Purpose of Issue: PLANNING
 Drawing Number: 100

Surveyed By	Original Sheet Size	Mark
M CALAGHANI	A3	C
Drawn	Date	Checked
CS	22.02.13	RB
		22.02.13



DETAILED SITE LOCATION
 (Scale 1:1250)
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 (Scale 1:50000)

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SITE PHOTOGRAPH

The drawings comply with TEF & Vodafone Standard ICNIRP guidelines. Designed in accordance with Cornerstone document: CORN/09/006

ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE
 N.G.R * E: 505194 N: 188817
 CONCESSION REQUIRED NO

NOTES:

REV	MODIFICATION	BY	CH	DATE
C	Revised to reflect	OS	RB	21.04.13
B	Revised to reflect	OS	RB	11.03.13
A	Issued for Approval	OS	RB	22.02.13

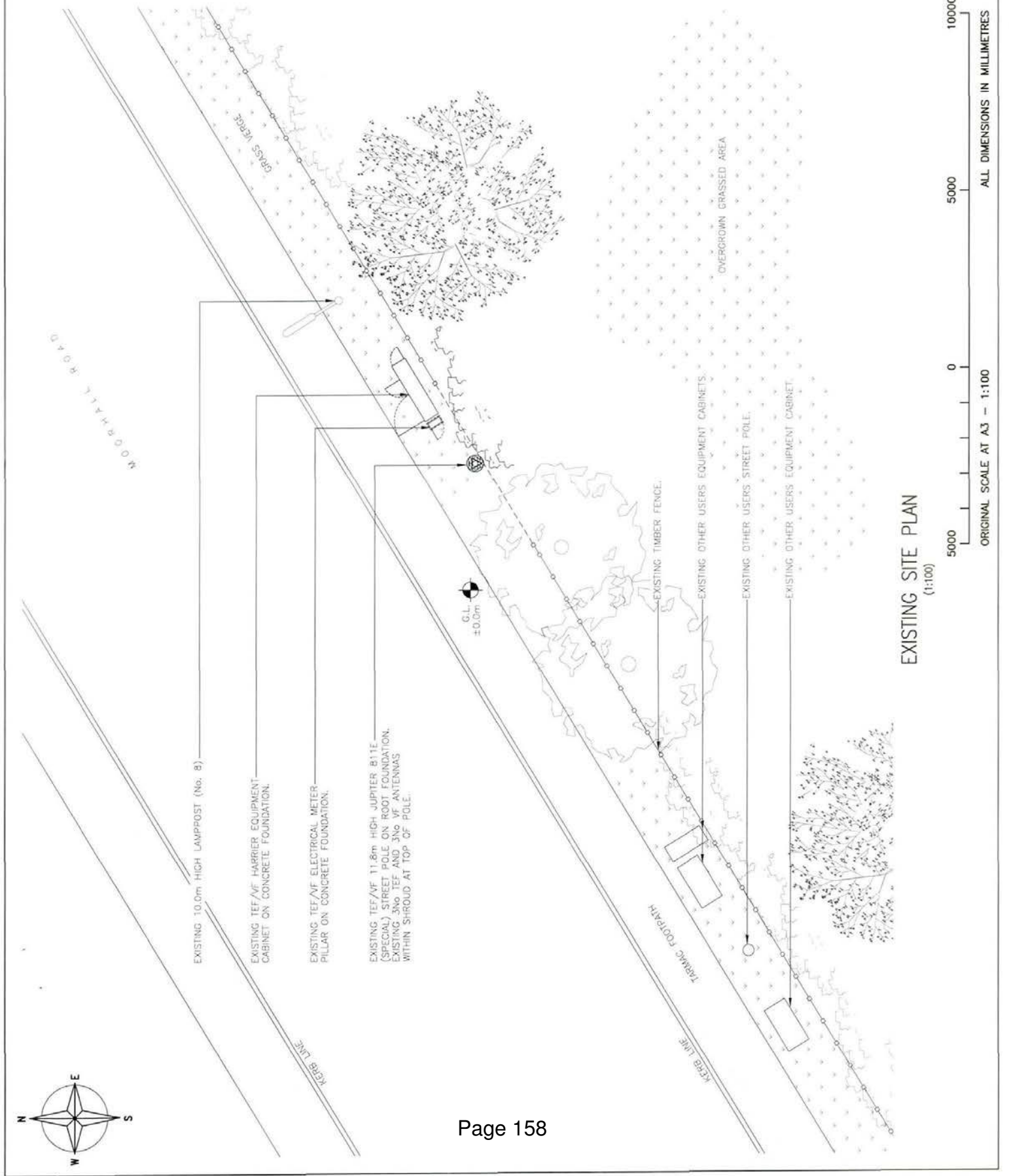


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Cell ID No	
CTIL	VF
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44623	

Site Address / Contact Details
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 SOUTH HAREFIELD
 MIDDLESEX
 UB9 6PE

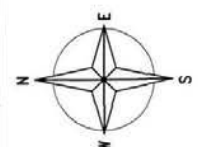
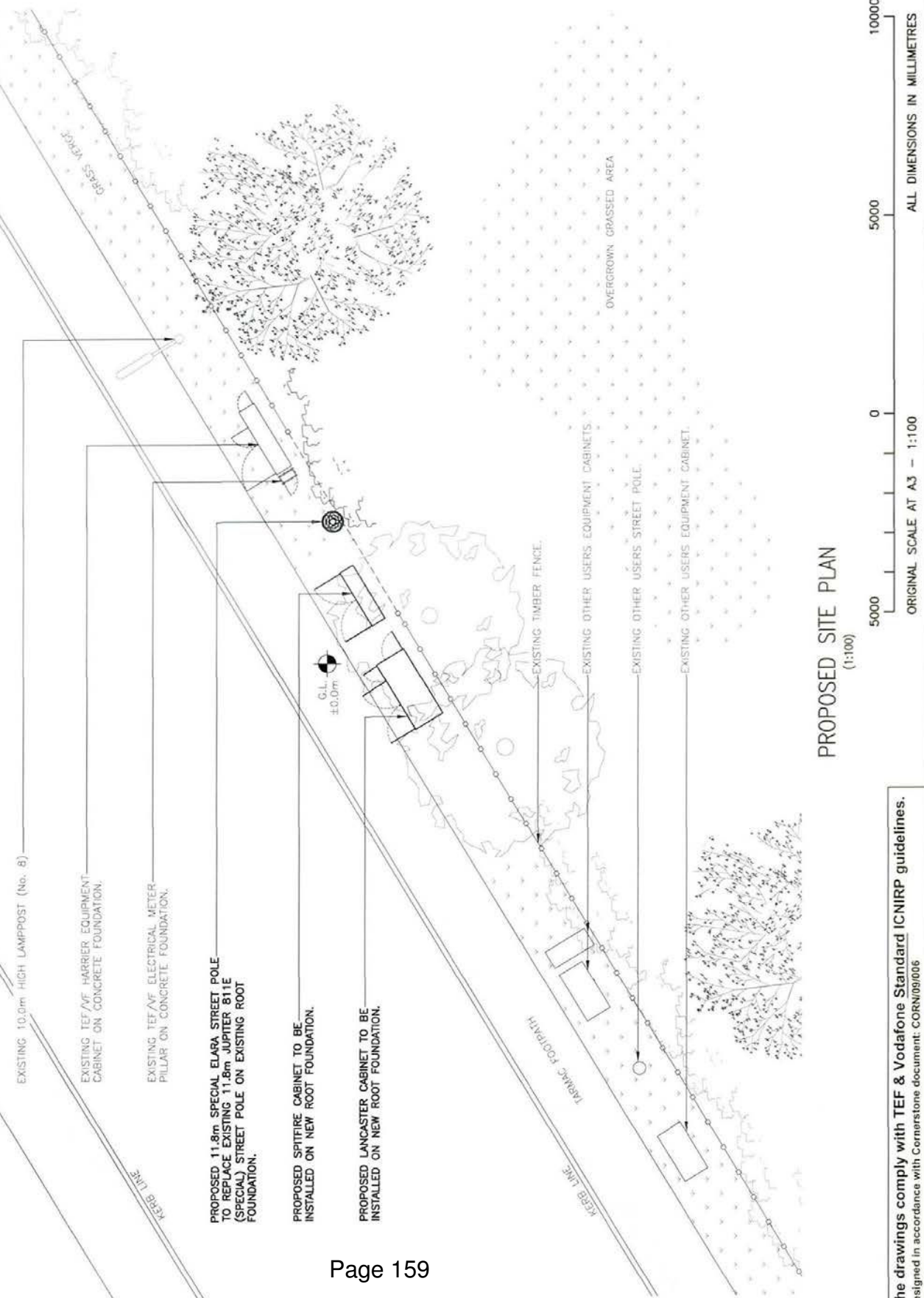
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 Purpose of Issue: PLANNING
 Drawing Number: 200

Drawn By:	Original Sheet Size:
MCALLAGHAN	A3
Drawn:	Checked:
OS	RB
Date:	Date:
22.02.13	22.02.13
Scale:	Scale:
C	C



ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE
 N.G.R. * E: 505194 N: 188817
 CONCESSION REQUIRED NO
 NOTES:

Notes:
 All work undertaken on Highways land to be done in accordance with the new Roads & Streetworks Act 1991 (c.22)
 The proposed column location shown on this drawing is subject to the receipt of Statutory Authority searches, a CAT scan and a trial dig of the proposed column location.
 The final column location is to be determined by GallifordTry based on the above information using the relevant Statutory Authority guidelines



PROPOSED SITE PLAN
 (1:100)



REV	MODIFICATION	BY	CH	DATE
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B	Revised to redlines	GS	RB	11.03.13
A	Issued for Approval	GS	RB	22.02.13



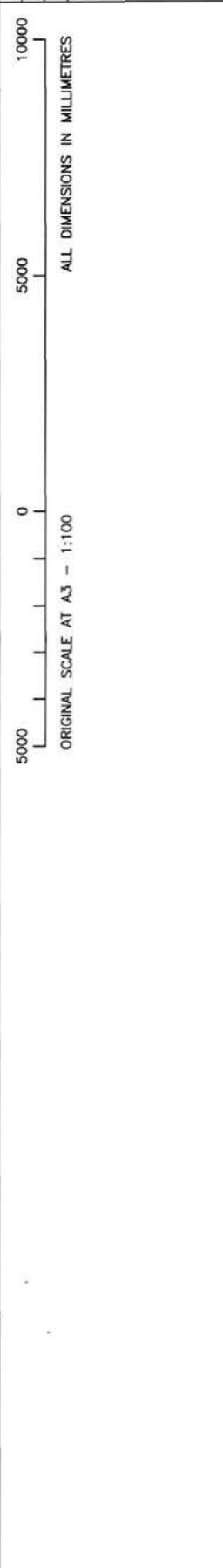
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Cell ID No	VF
CTIL	TEF
136732	44623
	76293

Site Address / Contact Details
 MOORHALL ROAD
 SOUTH HAREFIELD
 MIDDLESEX
 UB9 8PE

Drawing Title	PROPOSED SITE PLAN
Purpose of Issue	PLANNING
Drawing Number	201
Drawn: GS	Date: 22.02.13
Checked: RB	Date: 22.02.13
Surveyed By: M.CALLAGHAN	Original Sheet Size: A3
Issue: C	

The drawings comply with TEF & Vodafone Standard ICNIRP guidelines.
 Designed in accordance with Cornerstone document: CORN/09/006

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 N.G.R. E: 505194 N: 188617
 CONCESSION REQUIRED NO
 NOTES:



REV	MODIFICATION	BY	CH	DATE
C	Revised to reflect	GS	RB	26.03.13
B	Revised to reflect	GS	RB	11.03.13
A	Issued for Approval	GS	RB	22.02.13

WOLFEY - HIGGINS - BRIDGESTERDALE - LEVILL
 Tel: +44 (0)1455 227295 Fax: +44 (0)1455 227798

CTIL

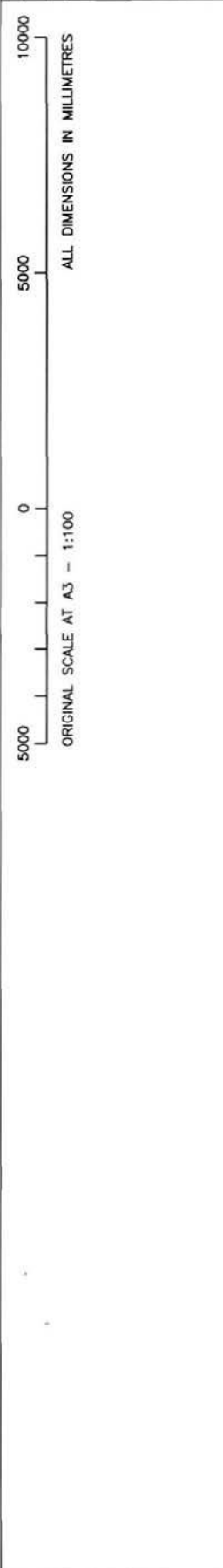
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Site Address / Contact Details
 MOORHALL ROAD
 SOUTH HAREFIELD
 MIDDLESEX
 UB9 6PE

Drawing Title: EXISTING SITE ELEVATION
 Purpose of Issue: PLANNING
 Drawing Number: 300
 Surveyed By: M DALLAGHAN
 Original Sheet Size: A3
 Drawn: GS
 Date: 22.02.13
 Checked: RB
 Issue: C
 Date: 22.02.13

EXISTING NORTH WEST ELEVATION
 (1:100)

ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE.
 N.G.R. E: 505194 N: 188917
 CONGRESSION REQUIRED RD
 NOTES:



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 Tel: +44 (0)1455 227766 Fax: +44 (0)1455 227766

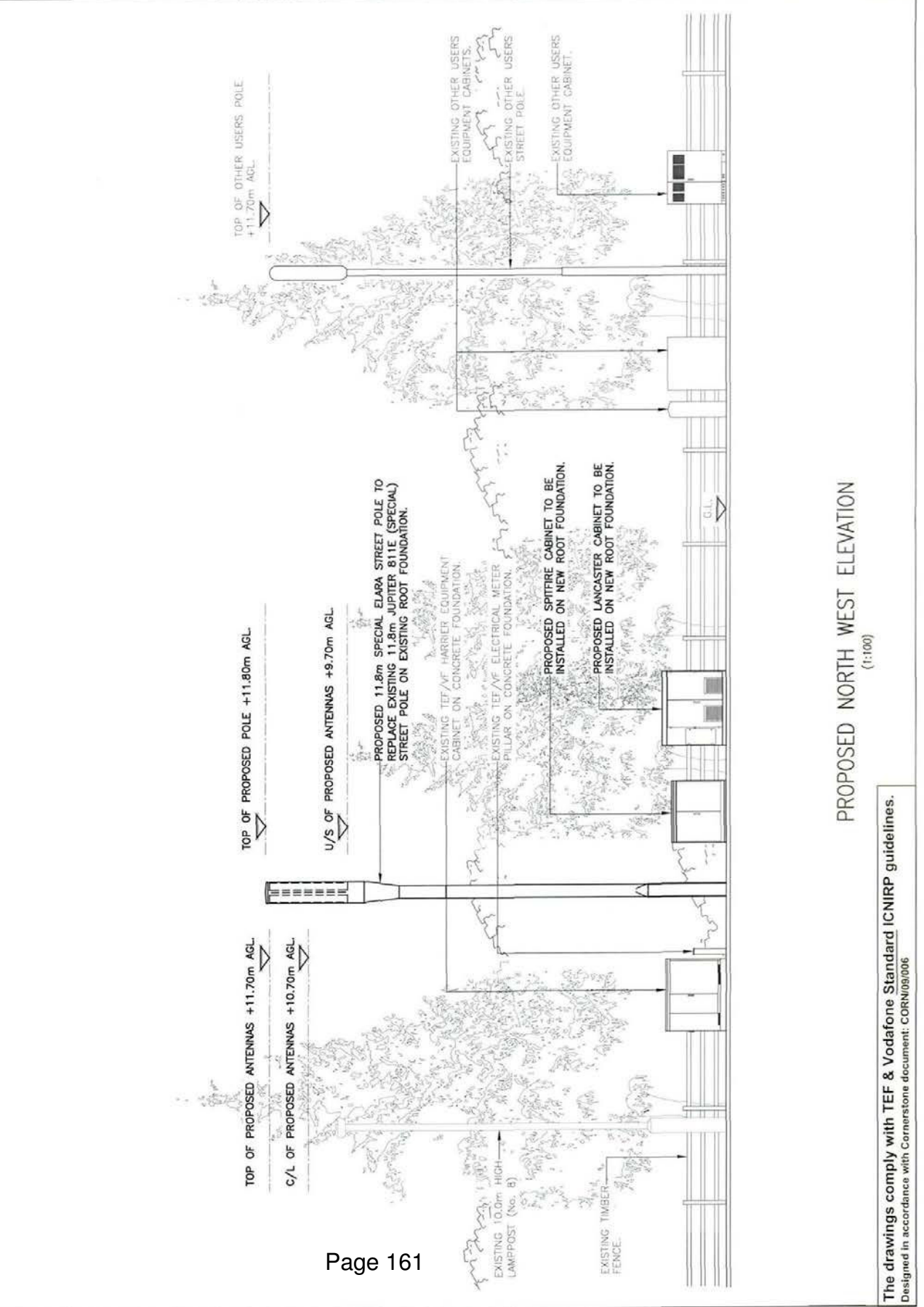
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Cell Name	SOUTH HAREFIELD	Opt.	-
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CTIL	136732	44623	76293

Site Address / Contact Details
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 SOUTH HAREFIELD
 MIDDLESEX
 UB9 6PE

Drawing Title: PROPOSED SITE ELEVATION
 Purpose of Issue: PLANNING
 Drawing Number: 301

Surveyed By:	M CALLAGHAN	Original Sheet Size:	A3
Drawn:	CS	Date:	22.02.13
		Checked:	RB
		Date:	22.02.13



PROPOSED NORTH WEST ELEVATION
 (1:100)

The drawings comply with TEF & Vodafone Standard ICNIRP guidelines.
 Designed in accordance with Cornerstone document: CORN/09/006

South Harefield

Chapel
(site of)

Recreation Ground

Musgrave House

MOORHALL ROAD

Moorside

Delside Cott

Shelter

DELSIDE

The Site

37.5m

40.5m

Harefield Boat Yard

Notes



Site boundary

For identification purposes only.

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Site Address

**Grass verge opposite
recreation ground, Moorhall
Road, Harefield**

Planning Application Ref:

67032/APP/2013/1294

Planning Committee

North Page 162

Scale

1:1,250

Date

**June
2013**

**LONDON BOROUGH
OF HILLINGDON**

Residents Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning, Sport and Green Spaces

Address OAKHURST, 1 NORTHGATE NORTHWOOD

Development: Two storey, 6-bedroom detached dwelling with basement level with associated parking and amenity space and installation of vehicular crossover to front, involving demolition of existing dwelling

LBH Ref Nos: 30779/APP/2013/539

Date Plans Received: 05/03/2013

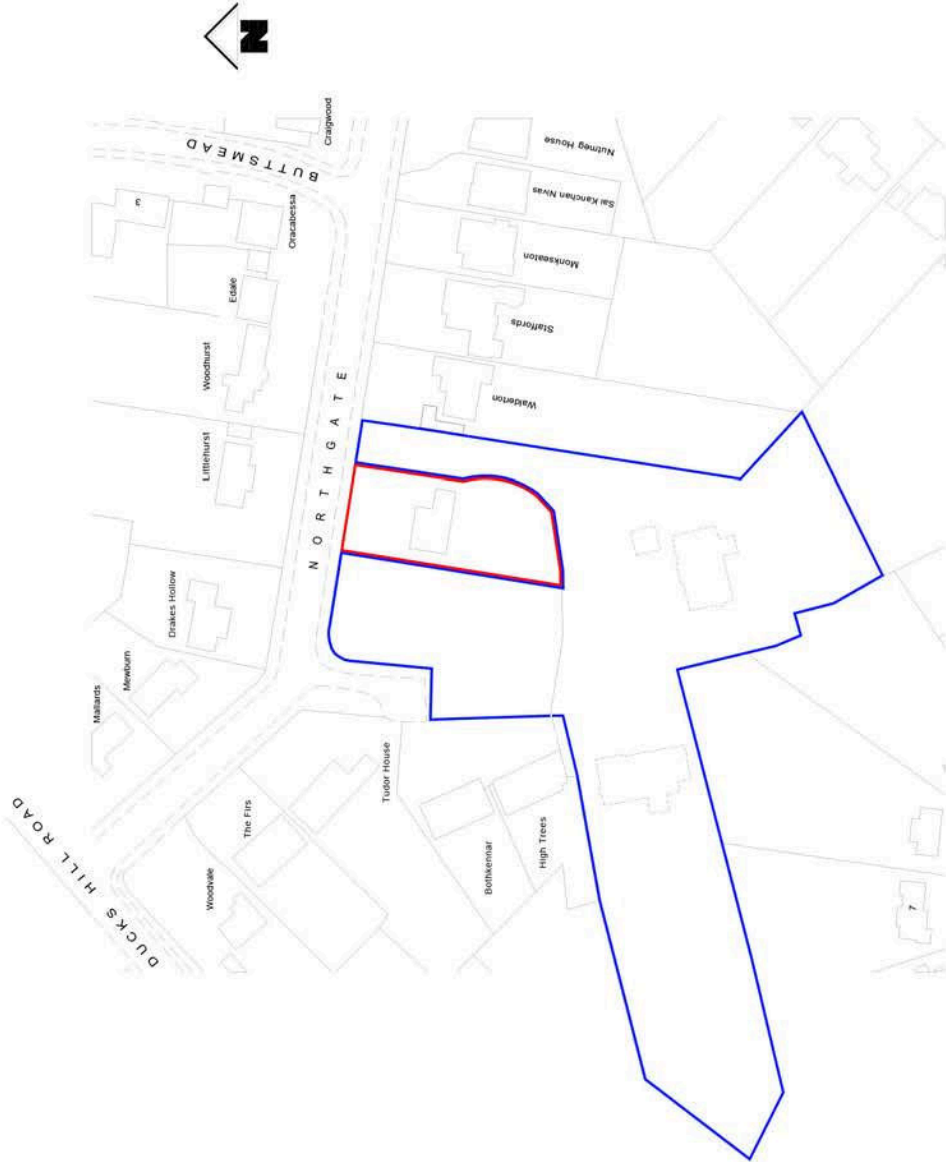
Date(s) of Amendment(s): 26/03/2013

Date Application Valid: 13/03/2013

05/03/2013

05/03/0013

07/03/0013



Rev	Date	Description



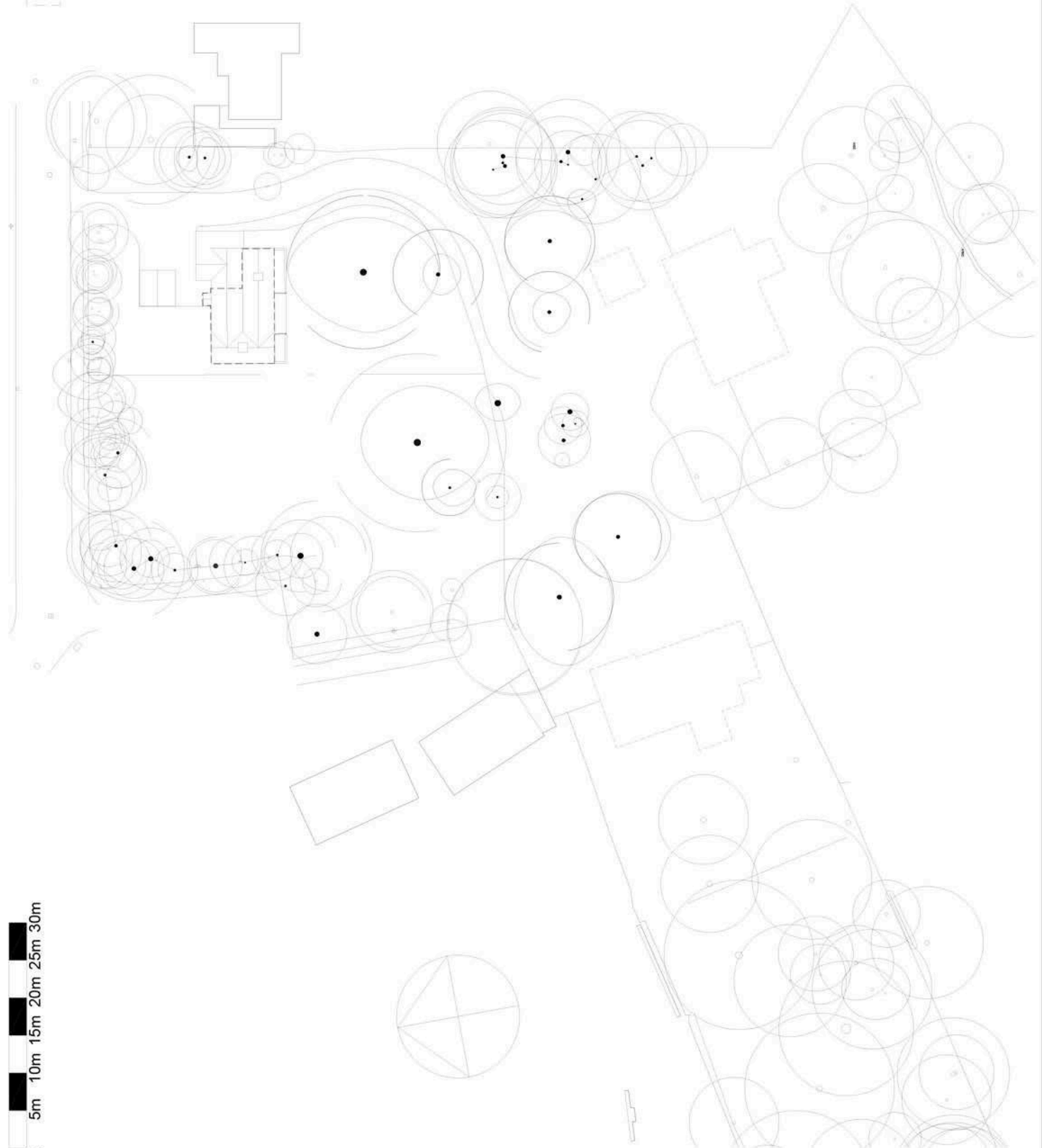
BANNER HOMES LIMITED
 Riverside House, Holspur Lane, Woodham Green
 High Wycombe, Buckinghamshire, HP10 0TJ
 Tel: 01628 536200 Fax: 01628 536201
 DX: 123410 Woodham Green E-mail: info@banner-homes.co.uk

Project
 Oakhurst, Northgate
 Northwood

Drawing title
 Location Plan

Scale	Dwg No.
1:1250	P.01
Date	Rev
10.05.10	Rev
Drawn	A
N. Millin	A

Indicates two detached dwellings
being implemented as a result of
planning permission
30779/APP/2009/2036



Rev	Date	Description

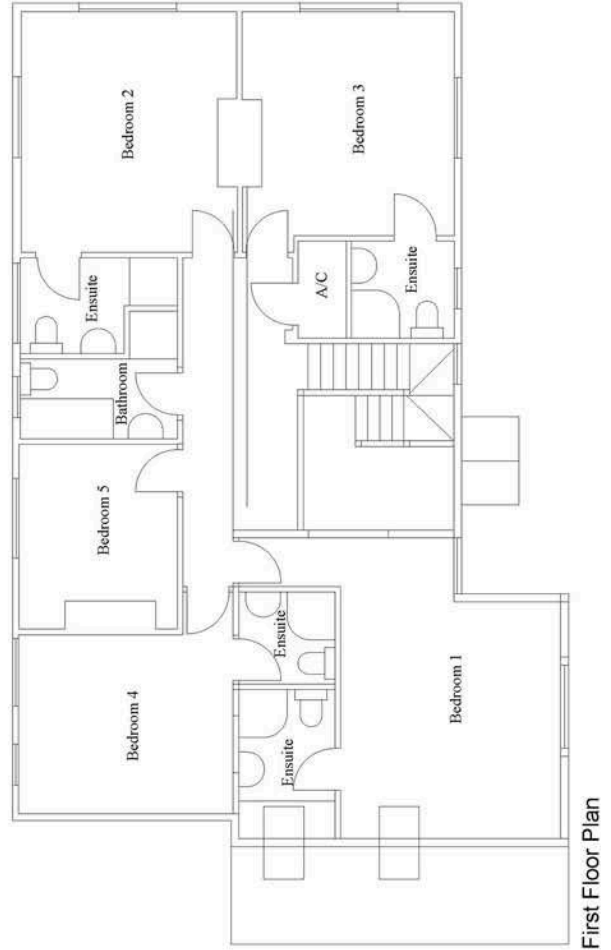
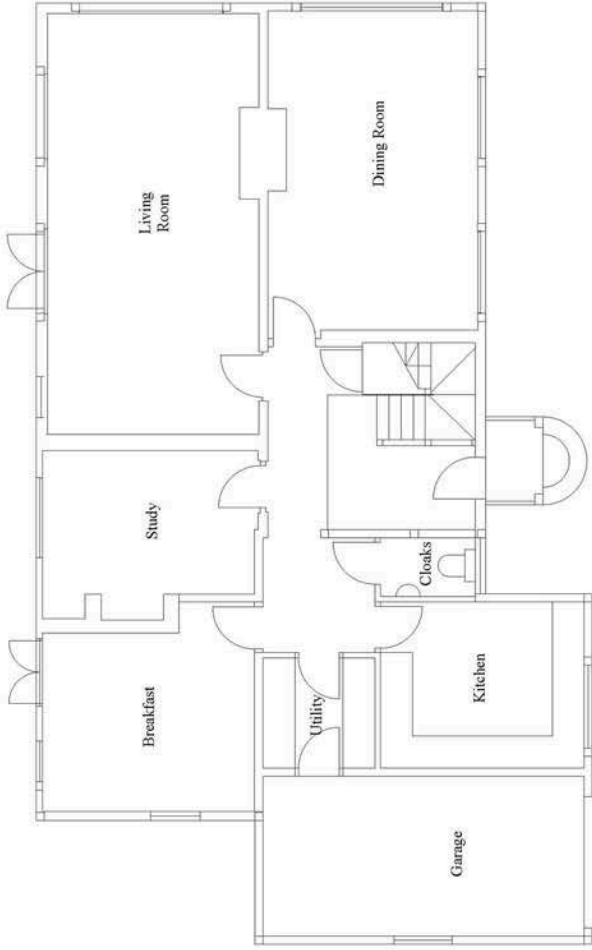


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High Wycombe, Buckinghamshire, HP10 0TJ
Tel: 01628 536200 Fax: 01628 536201
DX: 123610 Woodburn Green E-mail: info@banner-homes.co.uk

Project
**Oakhurst, Northgate
Northwood**

Drawing title
Site Plan

Scale	Dwg No.
1:500	P.02
Date	Rev
10.05.10	E
Drawn	
N. Millin	



Rev	Date	Description

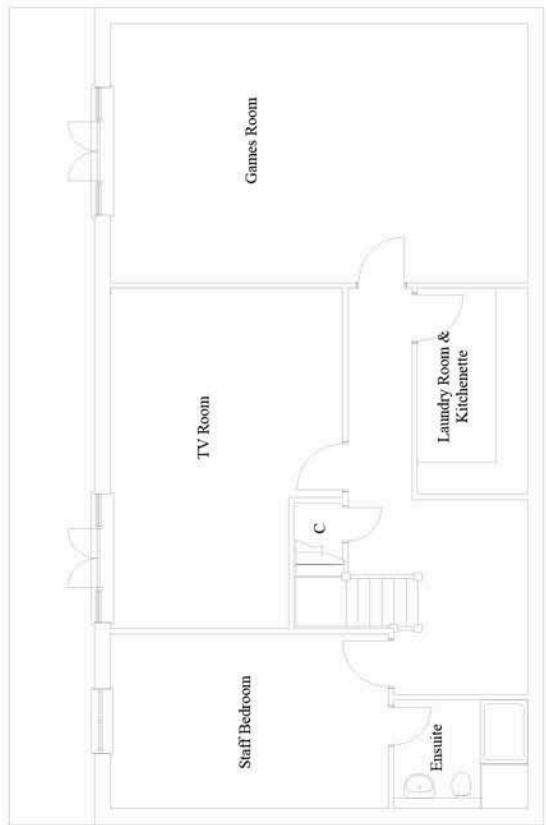


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 Perth, WA 6109
 Tel: 01628 536200 Fax: 01628 536201
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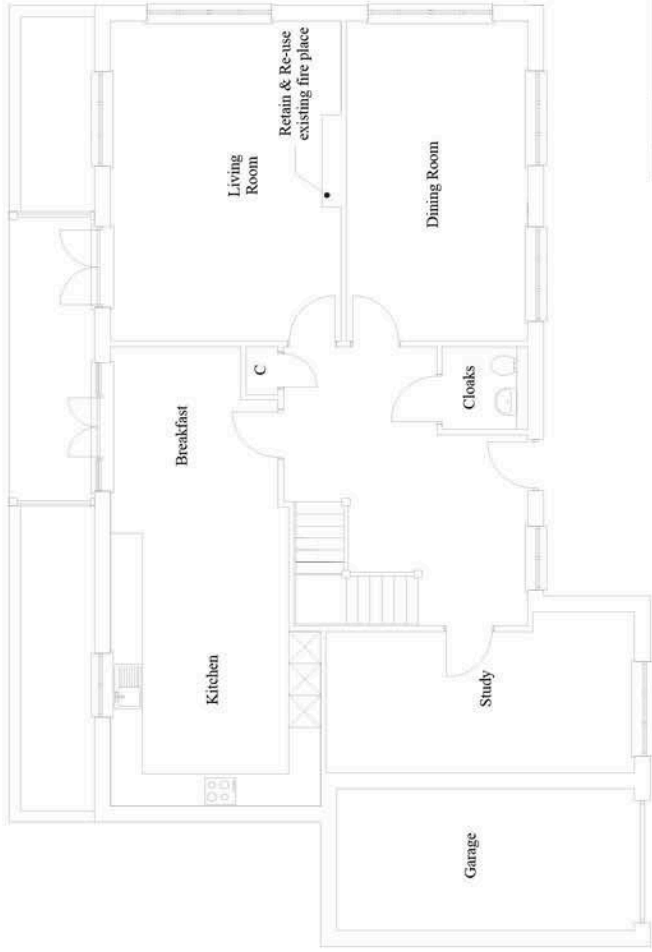
Project
 Oakhurst, 1 Northgate
 Northwood

Drawing title
 Existing Floor Plans

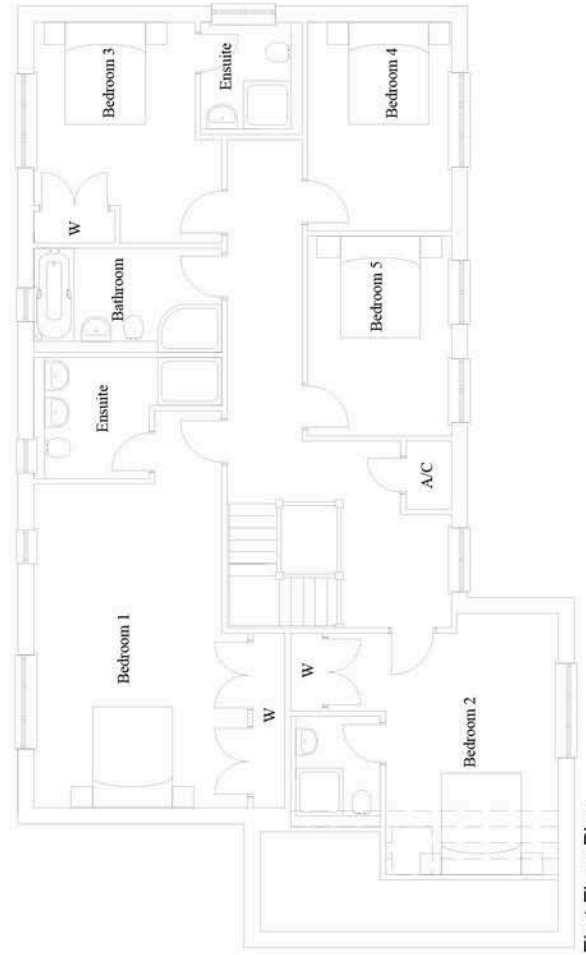
Scale	Dwg No.
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Date	Rev
10.05.10	
Drawn	
N.Millin	A



Basement Plan



Ground Floor Plan



First Floor Plan

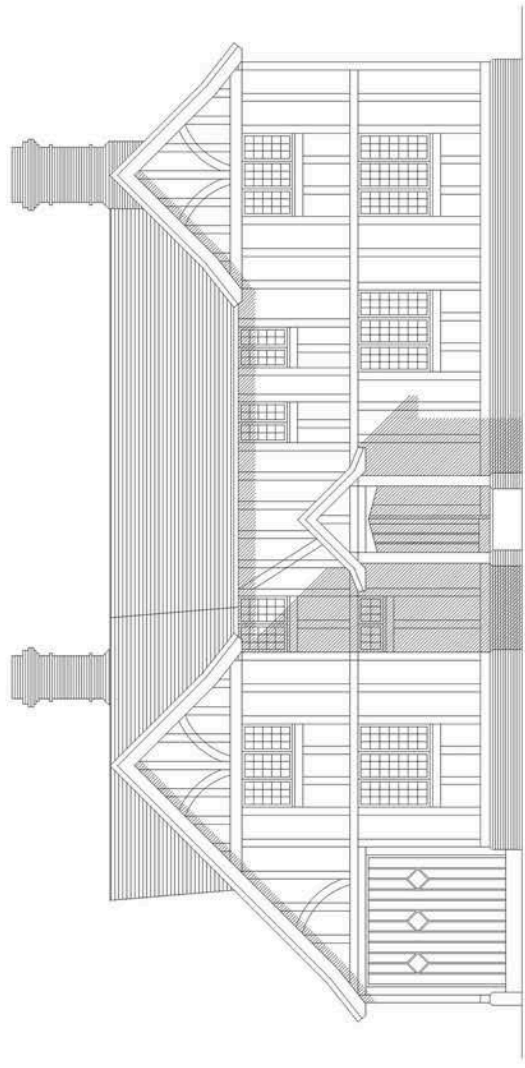
Rev	Date	Description



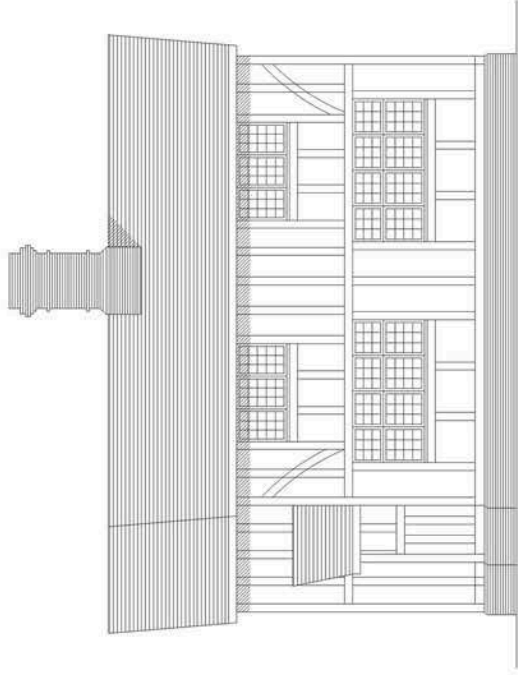
BANNER HOMES LIMITED
 Planning & Design
 High Wycombe, Bucks HP10 0TU
 Tel: 01628 536200 Fax: 01628 536201
 DX: 1236 10 Woodburn Green E-mail: info@banner-homes.co.uk

Project	
Oakhurst, 1 Northgate Northwood	
Drawing title	
Proposed Floor Plans	
Scale	Dwg No.
1:100	P.03
Date	Rev
10.05.10	D
Drawn	
N.Millin	





Front Elevation



Side Elevation

Rev	Date	Description

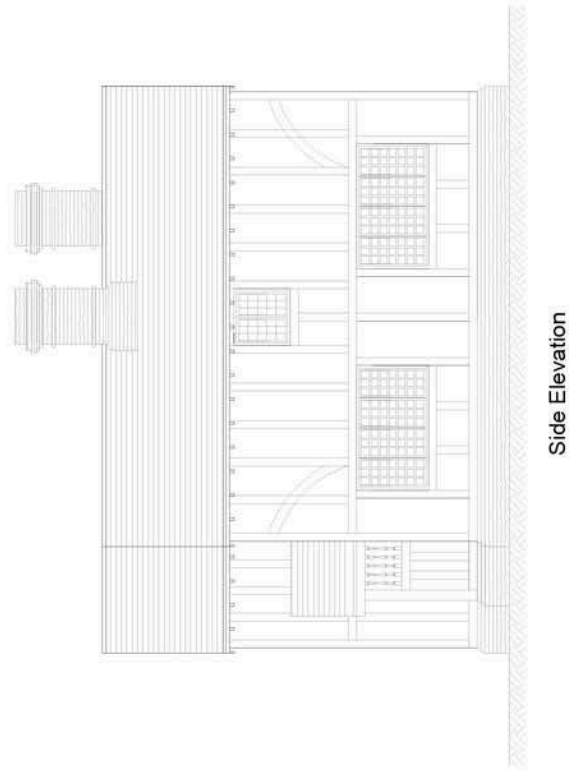
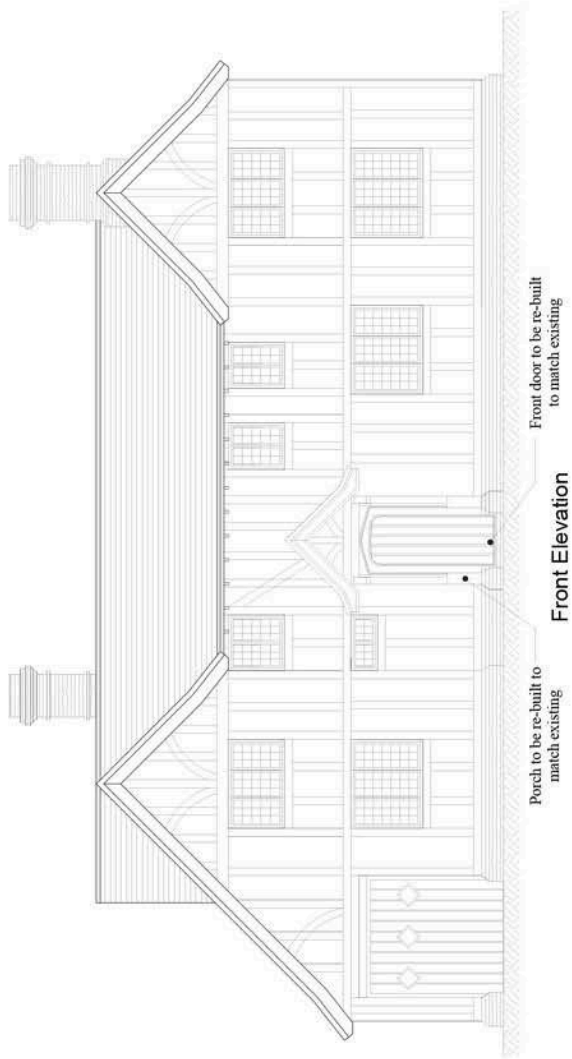


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 Riverside House, Woodburn Lane, Woodburn
 Northwood, Middlesex, HA8 9JF
 Tel: 01628 536200 Fax: 01628 536201
 DX: 122610 Woodburn Green Email: info@banner-homes.co.uk

Project
Oakhurst, 1 Northgate
Northwood

Drawing title
Existing Front & Side Elevations

Scale	Dwg No.
1:100	P.07
Date	Rev
10.05.10	A
Drawn	
N.Millin	



Rev	Date	Description



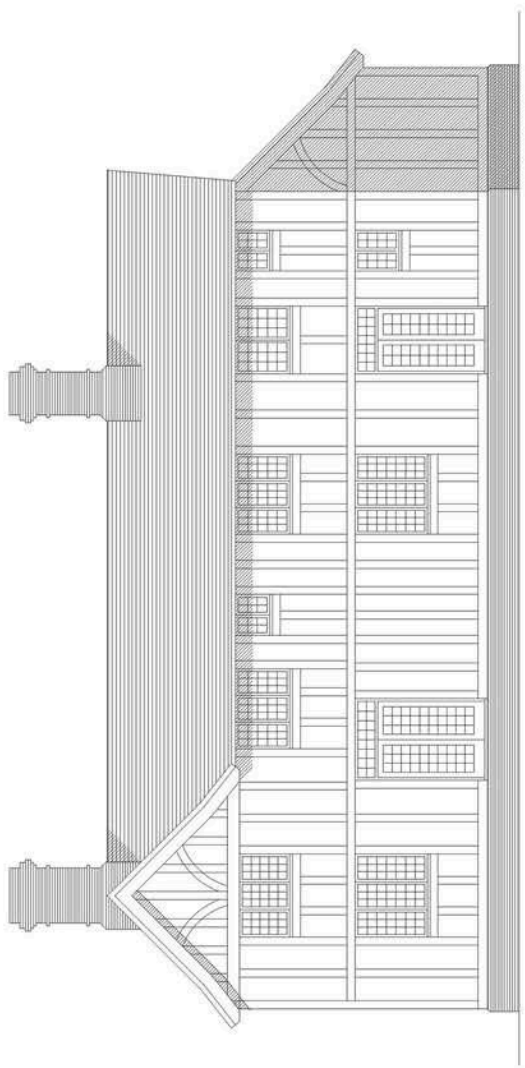
BANNER HOMES LIMITED
 Riverside House, Northgate, Northwood,
 High Wycombe, Buckinghamshire HP10 0TU
 Tel: 01628 536200 Fax: 01628 536201
 DX: 1236 10 Woodburn Green E-mail: info@banner-homes.co.uk

Project
 Oakhurst, 1 Northgate
 Northwood

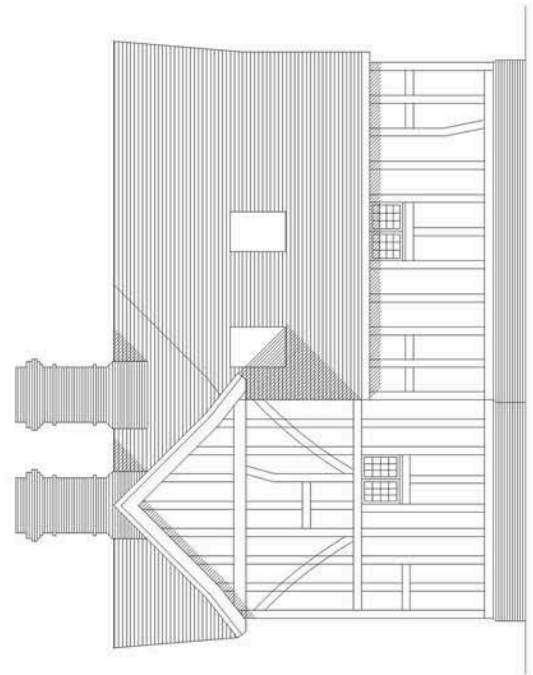
Drawing title

Proposed Front & Side Elevations

Scale	Dwg No.
1:100	P.04
Date	Rev
10.05.10	D
Drawn	
N.Millin	



Rear Elevation



Side Elevation

Rev	Date	Description

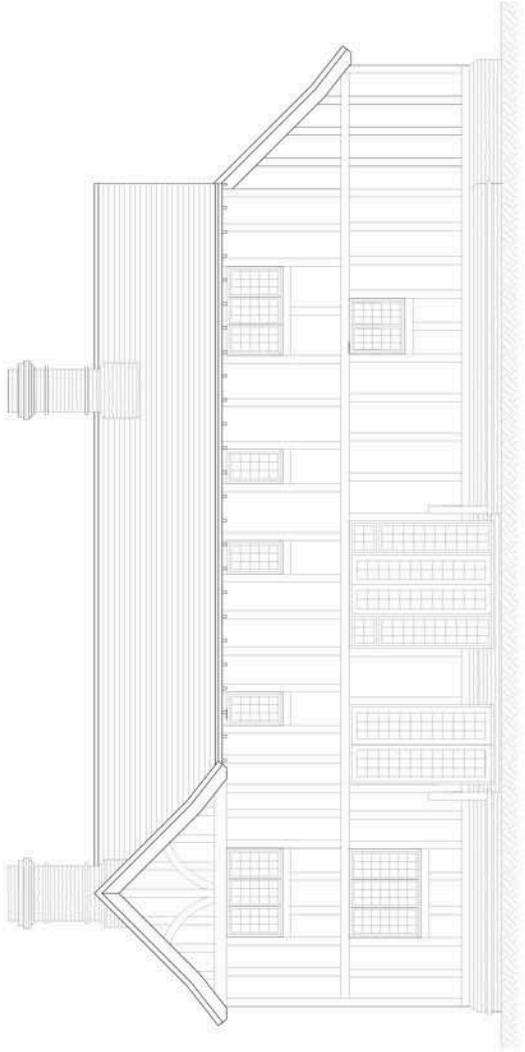
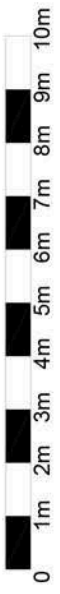


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 High Wycombe, Bucks HP10 0TJ
 Tel: 01628 536200 Fax: 01628 536201
 DX: 122610 Woodburn Green Email: info@banner-homes.co.uk

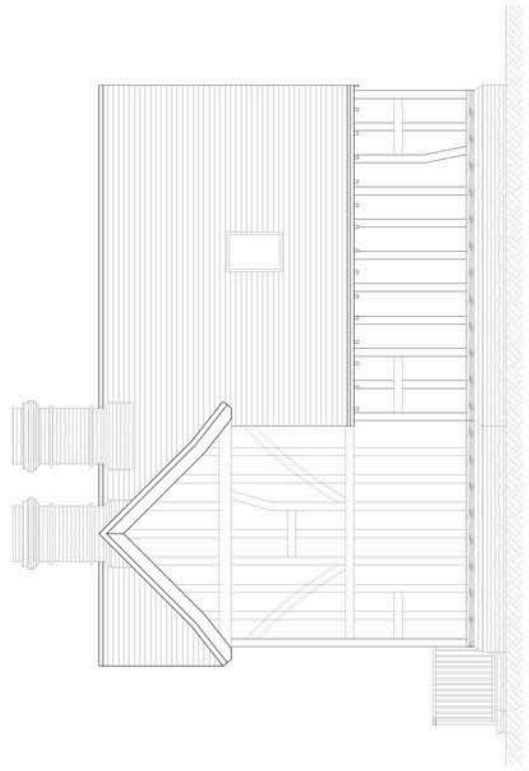
Project
**Oakhurst, 1 Northgate
 Northwood**

Drawing title
Existing Rear & Side Elevations

Scale	Dwg No.
1:100	P.08
Date	Rev
10.05.10	
Drawn	
N.Millin	A



Rear Elevation



Side Elevation

Rev	Date	Description



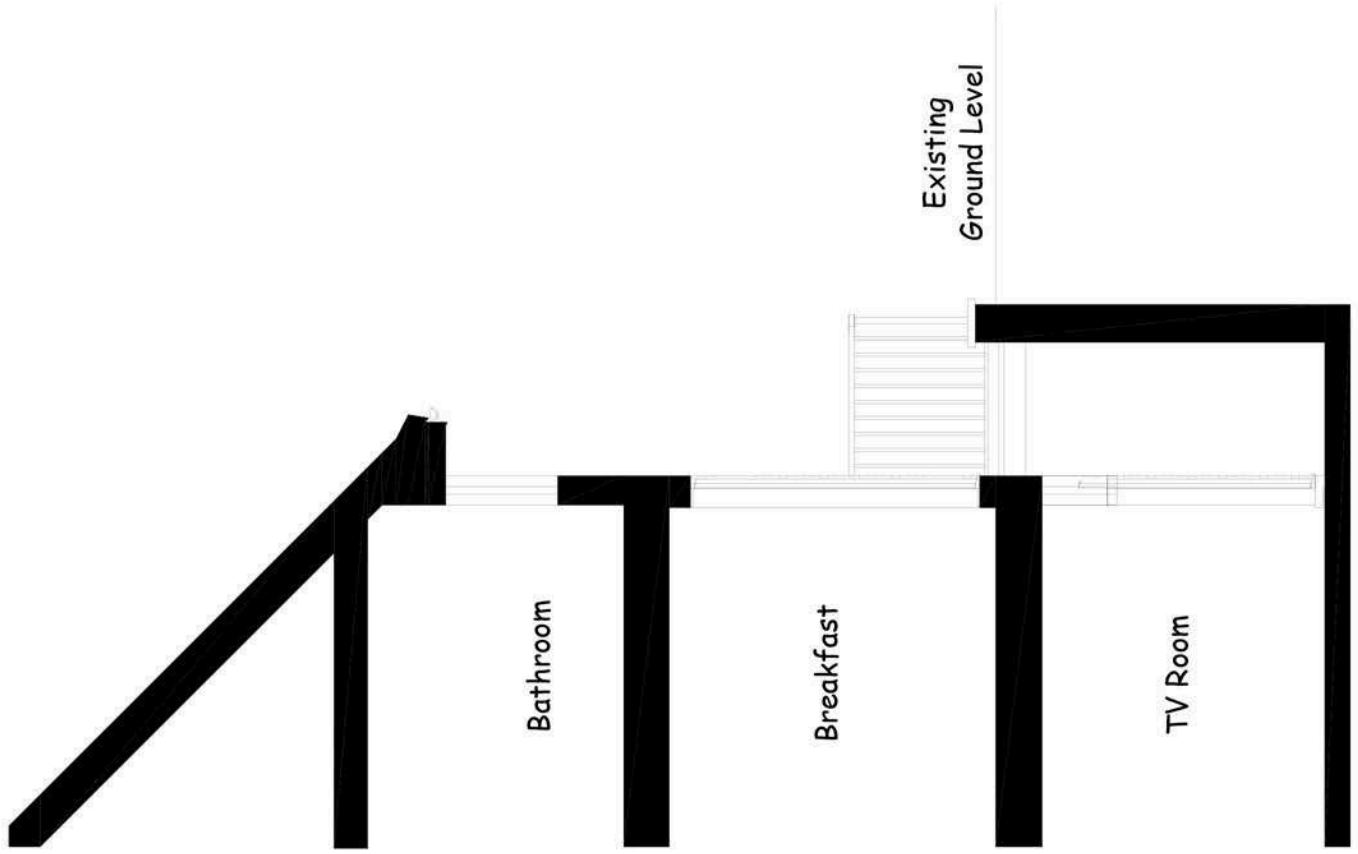
BANNER HOMES LIMITED
 Riverside House, Woodburn Lane, Woodburn Green,
 High Wycombe, Bucks HP11 0JU
 Tel: 01628 536200 Fax: 01628 536201
 DX: 123610 Woodburn Green E-mail: info@banner-homes.co.uk

Project
 Oakhurst, 1 Northgate
 Northwood

Drawing title

Proposed Rear & Side Elevations

Scale	Dwg No.
1:100	P.05
Date	Rev
10.05.10	C
Drawn	
N.Millin	



Rev	Date	Description

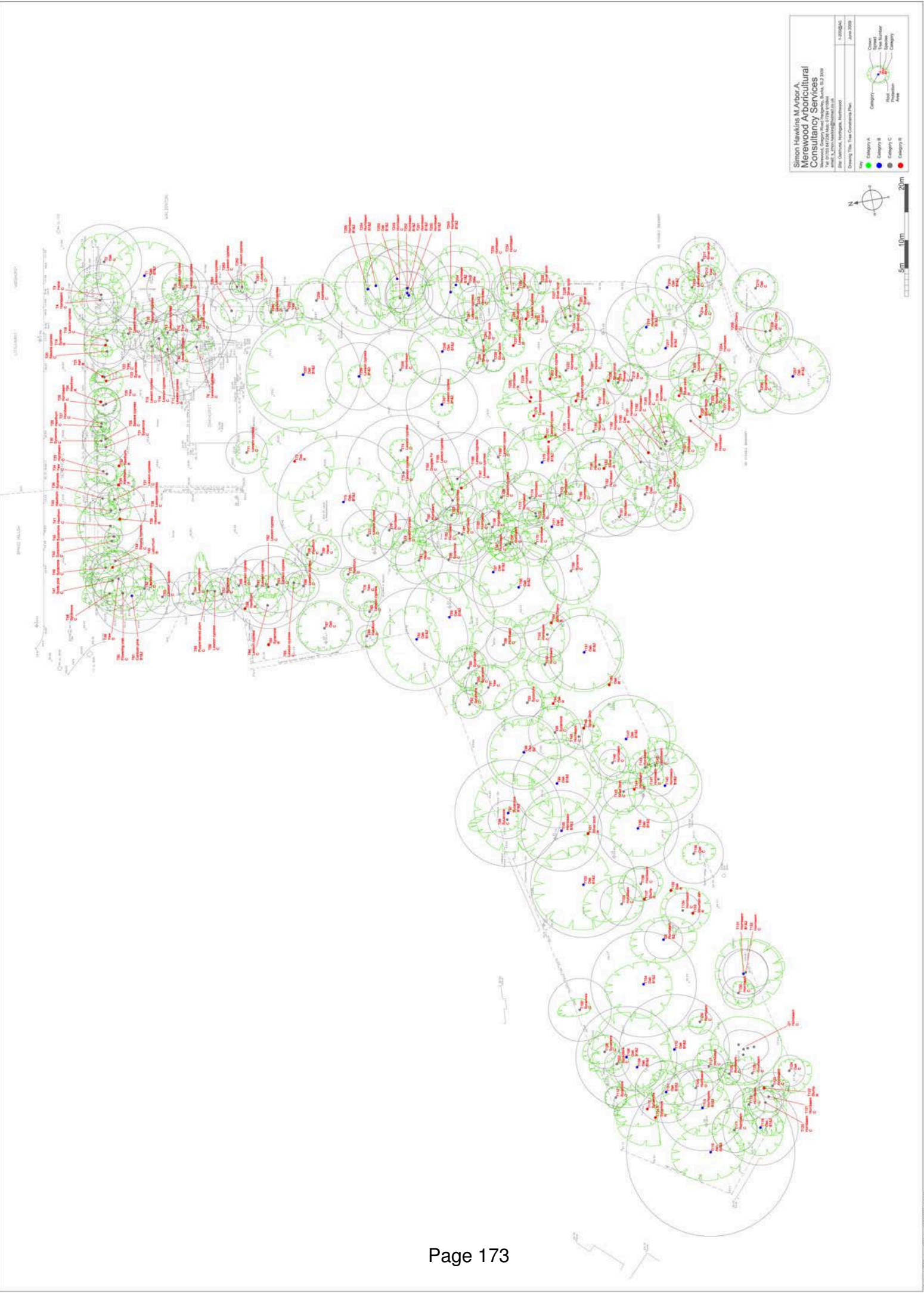


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 Planning & Design
 High Wycombe, Bucks HP10 0TU
 Tel: 01628 536200 Fax: 01628 536201
 DX: 1236 10 Woodburn Green E-mail: info@banner-homes.co.uk

Project
Oakhurst, 1 Northgate Northwood

Drawing title
Section Through Lightwell

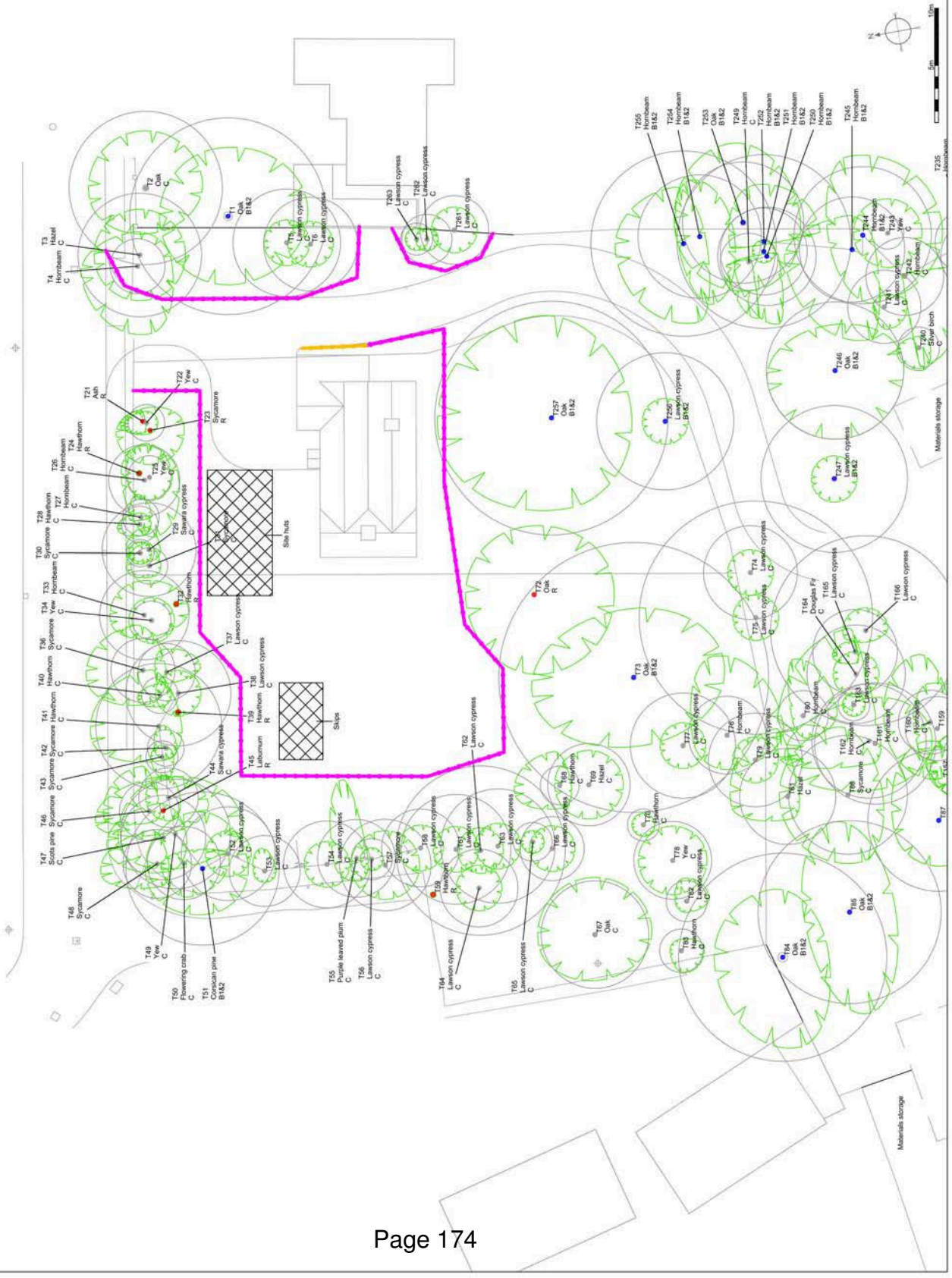
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1:50	P.09
Date	Rev
27.02.13	
Drawn	
N.Millin	A



WOODHURST

LITTLEHURST

BRIDGE HOLLOW



Simon Hawkins M.Arbor. A.
Merewood Arboricultural
Consultancy Services
 Merewood, Gregory Road Hedgerley, Bucks, SL2 3XW
 Tel: 01753 647236 Mob: 07784 915944
 email: s.john.hawkins@hotmail.co.uk

Site: Proposed Replacement of Existing Dwelling at Oakhurst, Northgate, Northwood
 Drawing Title: Tree Protection Plan
 1-250@A2
 Sept 2010

Key:

- Category A (Green circle)
- Category B (Blue circle)
- Category C (Grey circle)
- Category R (Red circle)
- Tree Protection Fencing (Yellow line)
- Tree Protection Fencing Incorporated into Scaffolding (Blue line)
- Crown Spread (Green outline)
- Tree Number (ID in circle)
- Species (Text next to ID)
- Category (Text next to ID)
- Root Protection Area (Dotted area)

- 1. LEVELS AND GRADES TO BE MAINTAINED AS SHOWN ON THIS SHEET ARE TO BE MAINTAINED FOR THE LIFE OF THE PROJECT.
- 2. ALL ELEVATIONS ARE TO BE MAINTAINED AS SHOWN ON THIS SHEET.
- 3. ALL ELEVATIONS ARE TO BE MAINTAINED AS SHOWN ON THIS SHEET.
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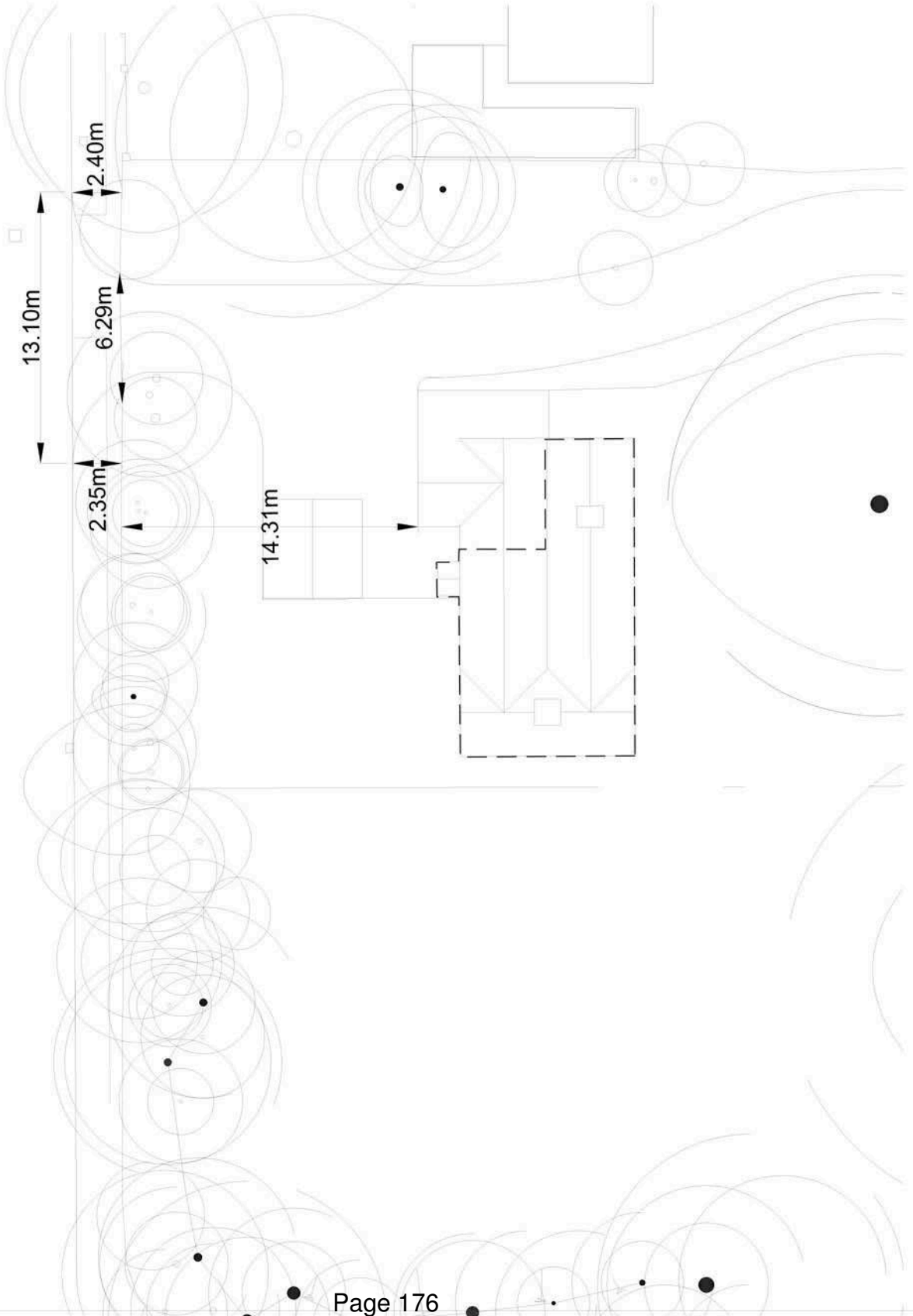
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99	03/15/2008	ISSUED FOR PERMITS
100	04/15/2008	ISSUED FOR PERMITS

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DATE: 01/15/2000
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

PROJECT NO. 1-2000
 SHEET NO. 175
 DATE: 01/15/2000
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]





Rev	Date	Description

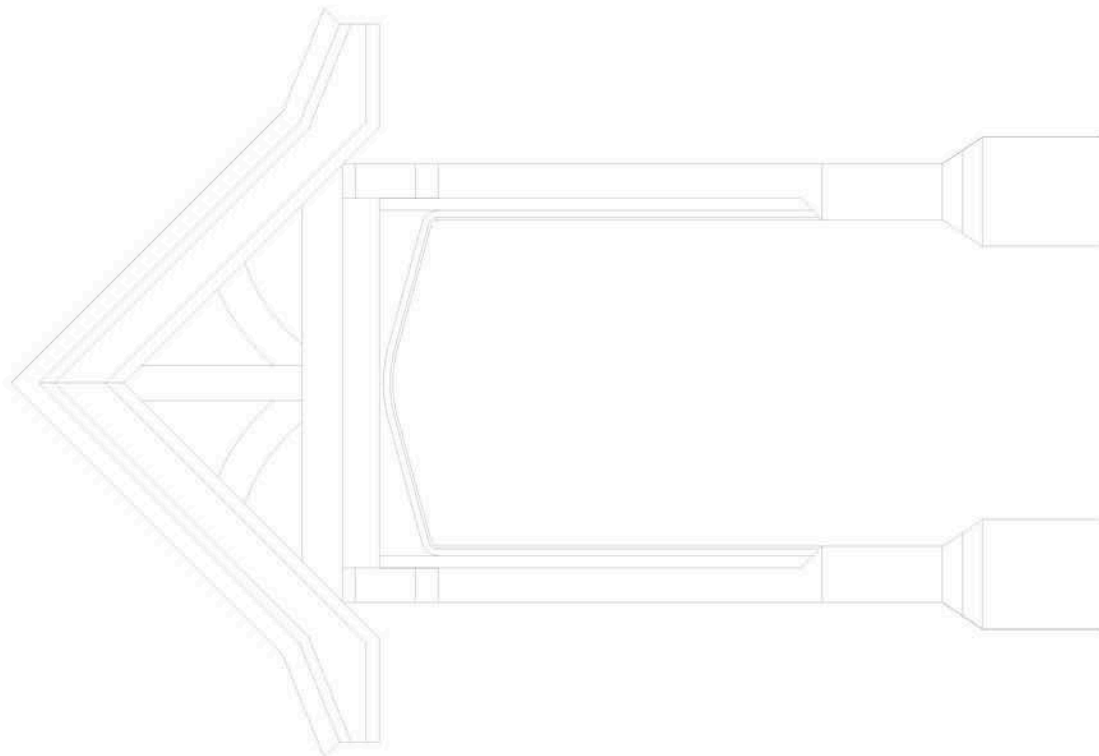


BANNER HOMES LIMITED
 Planning & Design
 High Wycombe, Bucks HP10 0TU
 Tel: 01628 536200 Fax: 01628 536201
 DX: 1236 10 Woodburn Green E-mail: info@banner-homes.co.uk

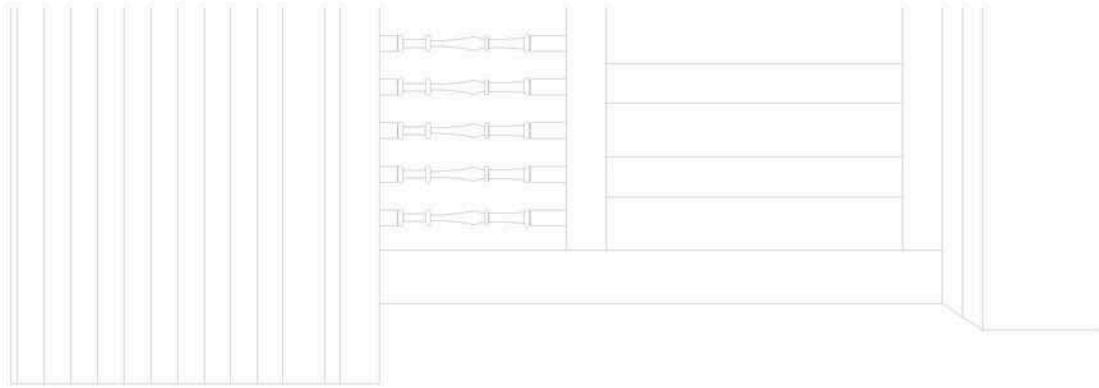
Project
**Oakhurst, 1 Northgate
 Northwood**

Drawing title
Crossover Plan

Scale	Dwg No.
1:200	P.10
Date	Rev
07.03.13	
Drawn	
N.Millin	



Front Elevation



Side Elevation

Rev	Date	Description



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 Riverside House
 100, The Quadrant
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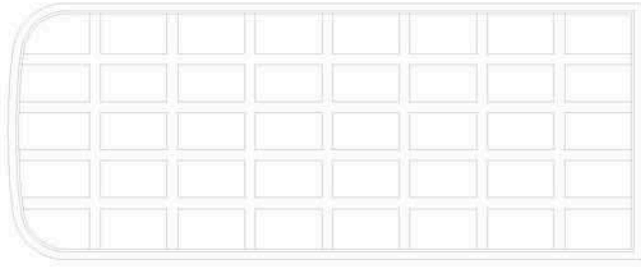
Project
**Oakhurst, 1 Northgate
 Northwood**

Drawing title
Porch Detail

Scale	Dwg No.
1:20	P.11
Date	Rev
07.03.13	
Drawn	
N.Millin	



Front Elevation



Rear Elevation

Rev	Date	Description

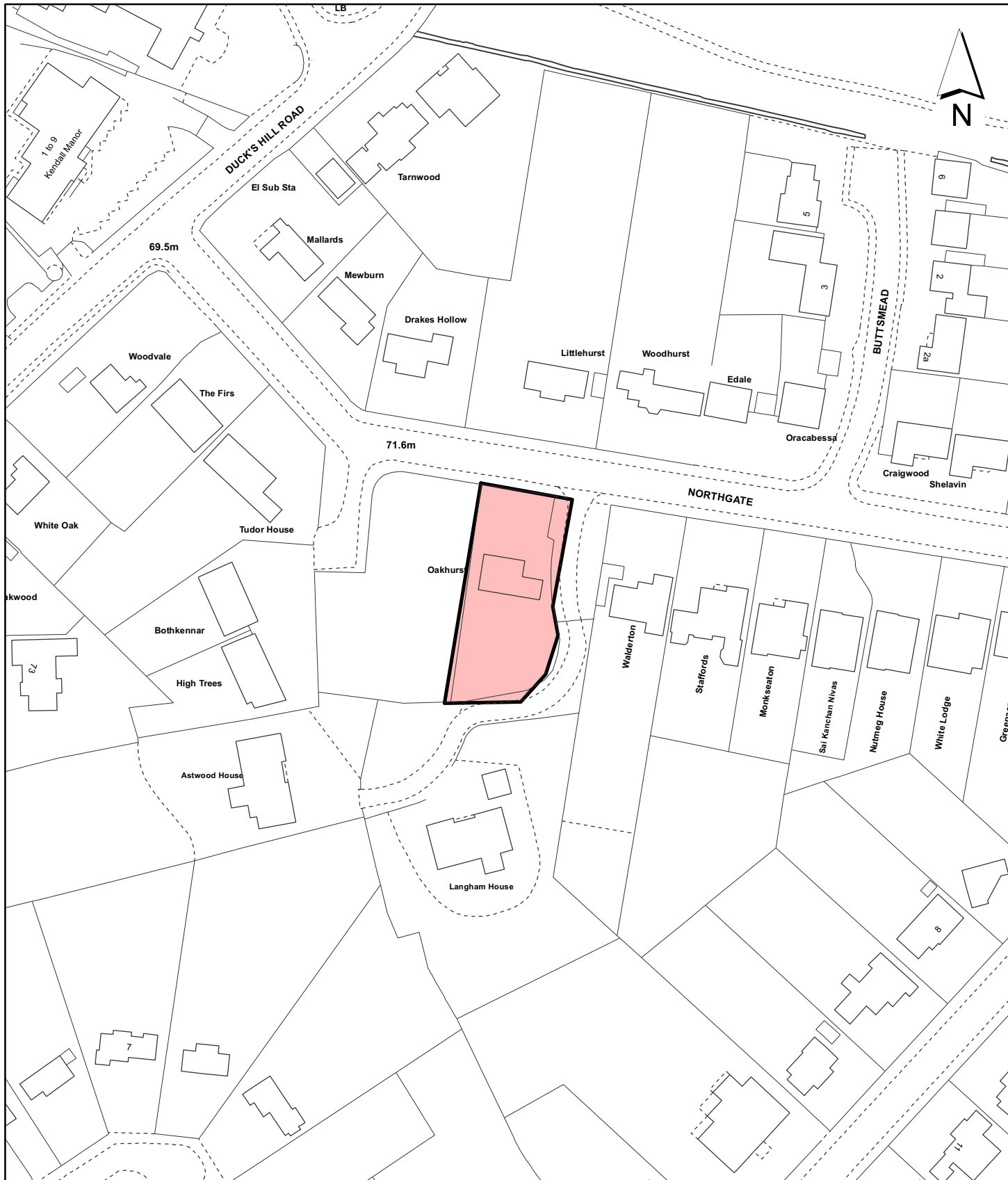




BANNER HOMES LIMITED
 Riverside House, Redwood Lane, High Wycombe, Bucks HP10 0TU
 Tel: 01628 536200 Fax: 01628 536201
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Project
Oakhurst, 1 Northgate Northwood

Drawing title
Front Door Elevation

Scale	Dwg No.
1:20	P.12
Date	Rev
07.03.13	
Drawn	
N.Millin	



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	<p>Planning Application Ref:</p> <p style="text-align: center;">30779/APP/2013/539</p>	<p>Scale</p> <p style="text-align: center;">1:1,250</p>	 HILLINGDON <small>LONDON</small>
	<p>Planning Committee</p> <p style="text-align: center;">North Page 179</p>	<p>Date</p> <p style="text-align: center;">June 2013</p>	

Report of the Head of Planning, Sport and Green Spaces

Address LYNDA JACKSON CENTRE RICKMANSWORTH ROAD NORTHWOOD

Development: Single storey extension to Lynda Jackson Macmillan Centre

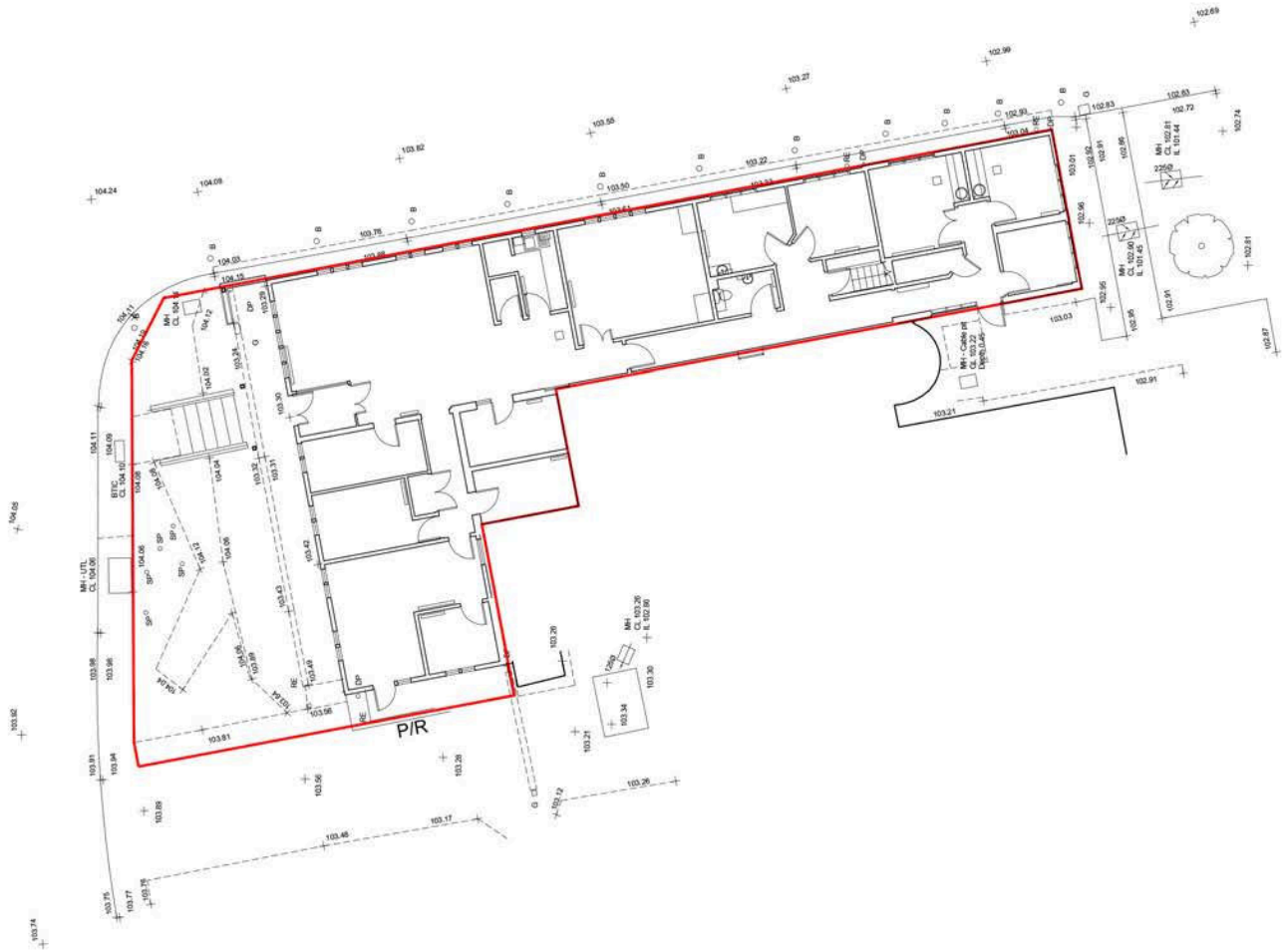
LBH Ref Nos: 3807/APP/2013/1177

Date Plans Received: 08/05/2013 **Date(s) of Amendment(s):** 08/05/2013

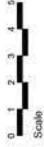
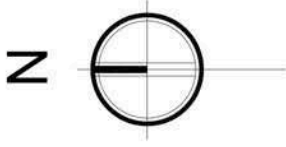
Date Application Valid: 10/05/2013

PGM 3
 E 1030.000
 N 500.000
 H 103.911

PGM 2
 E 1030.571
 N 500.000
 H 104.357



PGM 1
 E 1041.182
 N 452.502
 H 102.834



Revisions
 Project

Macmillan Cancer Support
 Alterations and Extension to
 Lynda Jackson Centre
 Mount Vernon Hospital

Site
 Siteplan as Existing

Date November 2011 Drawing No AT1971-PL-01
 Scale 1:100 @ A1

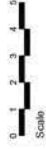
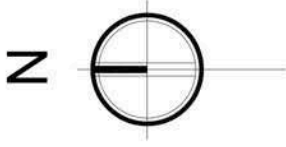
Aitken Turnbull
 architects

services
 plan
 create

9 Whitehall, Glasgow G3 7LN
 E 01462 72700 F 01462 72700
 e enquiries@aitkenturnbull.co.uk
 E 01462 37228 F 01462 37100
 21 York Place, Dundee DD1 1EN
 E 01307 26261 F 01307 26262
 Dundee Airport, Blairgowrie, Perth
 DD39 7YU, E 01793 42422

External Finishes:

Paving to be Marshalls 400 x 400mm Square Paving Slabs colour Natural on 50mm sand base on min. 100mm well compacted hardcore.



Site Area - 380m²

- 183.12 + DENOTES EXISTING LEVEL
- 103.85 - DENOTES PROPOSED LEVEL

Revisions

Macmillan Cancer Support
 Alterations and Extension to
 Lynda Jackson Centre
 Mount Vernon Hospital

Siteplan as Proposed

date November 2011 drawing no AT1971-PL-03
 scale 1:100

Aitken Turnbull
 architects

SAUVY
 plan
 create

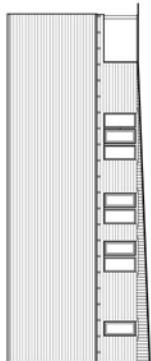
9 White Horse, Colindale, Tel: 020 8198 7270, Fax: 0208 192088
 e: enquiries@aitken-turnbull.co.uk
 L: 14160 37229 F: 14160 37106
 5, The Square, Colindale, London, N9 1UH
 L: 14160 37229 F: 14160 37106
 Design: House Master Plan
 Drawing: 1971-PL-03-PL-002

PGM 2
 E 1030.571
 N 500.000
 H 104.357

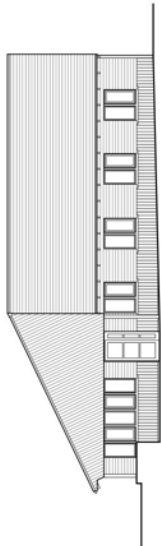
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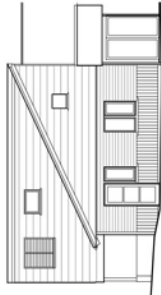




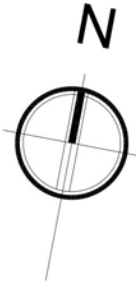
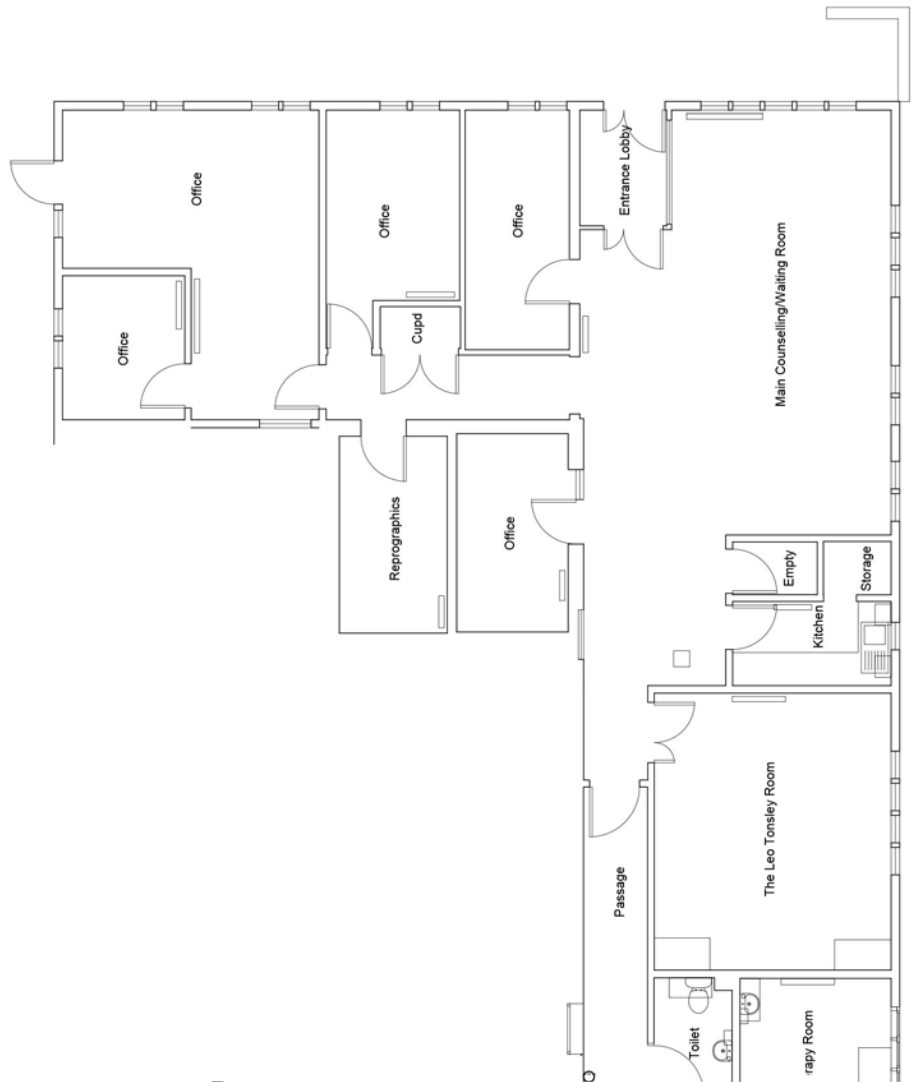
East Elevation as Existing



North Elevation as Existing



West Elevation as Existing



Revisions
Project

Macmillan Cancer Support
Alterations and Extension to
Lynda Jackson Centre
Mount Vernon Hospital

Site
Plan and Elevations
as Existing

date October 2011 drawing no. AT1071-PL-02
scale 1:50, 1:100@A1
drawn

Aitken Turnbull
architects

SAHVCY
plan
create
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E: enquiries@aitken-turnbull.co.uk
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Dundee: 10, Market Street, Dundee DD1 1TA
London: 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100



West Elevation as Proposed

North Elevation as Proposed

East Elevation as Proposed



REVISED
PROJECT

Macmillan Cancer Support
Alterations and Extension to
Lynda Jackson Centre
Mount Vernon Hospital

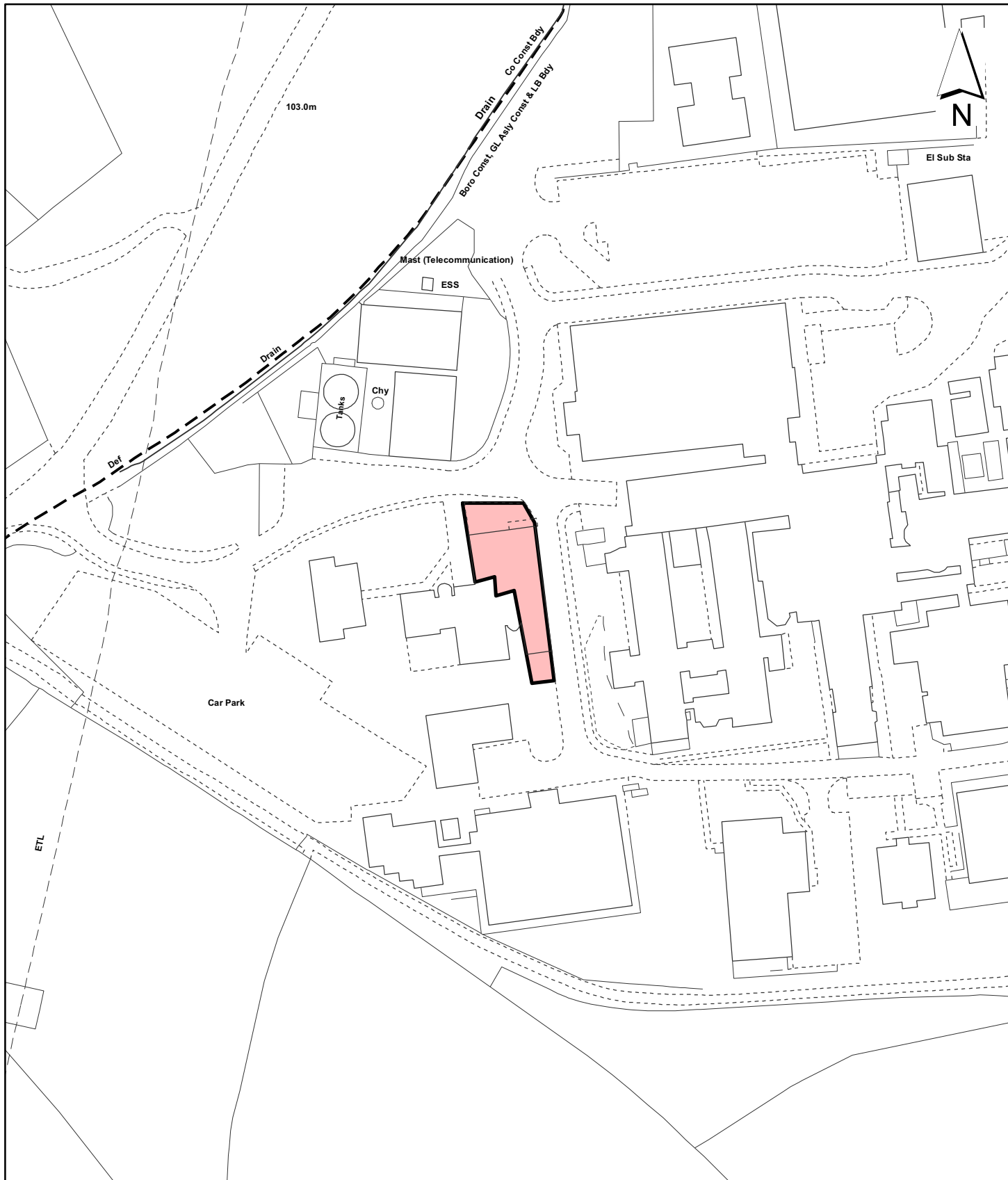
Plan and Elevations
as Proposed

DATE: October 2011
DRAWING NO: AT1971-PL-04
SCALE: 1:50, 1:100@A1


Aitken Turnbull
architects

surveys
plan
create

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E enquiries@aitken-turnbull.co.uk
E 01465 372228 F 01465 374308
S 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100



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Site Address

**Lynda Jackson Centre
Rickmansworth Road
Northwood**

**LONDON BOROUGH
OF HILLINGDON
Residents Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

3807/APP/2013/1177

Scale

1:1,250

Planning Committee

North Page 185

Date

**June
2013**



HILLINGDON
LONDON

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